

# Public Document Pack



## DEVELOPMENT CONTROL COMMITTEE B

**DATE**      **Wednesday 23 November 2016**

**PLACE**      **Council Chamber, Council  
Offices, High Street, Needham  
Market**

**TIME**      **9:30 am**

Contact:                      Committee Services  
Direct Line:                01449 724673/81  
Fax Number:                01449 724696  
E-mail:committees@baberghmidsuffolk.gov.uk

15 November 2016

The Council, members of the public and the press may record/film/photograph or broadcast this meeting when the public and press are not lawfully excluded. Any member of the public who attends a meeting and objects to being filmed should advise the Committee Clerk.

### **AGENDA**

1. Apologies for absence/substitutions
2. To receive any declarations of pecuniary or non-pecuniary interest by Members
3. Declarations of lobbying
4. Declarations of personal site visits

**5. Confirmation of the minutes of the meeting held on 28 September 2016**

Report SA/22/16                      Pages A to C

**6. To receive notification of petitions in accordance with the Council's Petition Procedure**

**7. Questions from Members**

The Chairman to answer any questions on any matters in relation to which the Council has powers or duties which affect the District and which fall within the terms of reference of the Committee of which due notice has been given in accordance with Council Procedure Rules.

**8. Schedule of planning applications**

**Report SA/23/16                      Pages 1 to 112**

**Note: The Chairman may change the listed order of items to accommodate visiting Ward Members and members of the public.**

9. Site Inspection

**Note:** *Should a site inspection be required for any of the applications this will be held on Wednesday, 30 November 2016 (exact time to be given). The Committee will reconvene after the site inspection at 12:00 noon in the Council Chamber.*

***Would Members please retain the relevant papers for use at that meeting.***

10. Urgent business – such other business which, by reason of special circumstances to be specified, the Chairman agrees should be considered as a matter of urgency

(**Note:** Any matter to be raised under this item must be notified, in writing, to the Chief Executive or District Monitoring Officer before the commencement of the meeting, who will then take instructions from the Chairman.)

**Notes:**

1. The Council has adopted a Charter on Public Speaking at Development Control/Planning Committees. A link to the Constitution and Charter (Part 3: Procedure Rule 33) is provided below:

[Charter on Public Speaking Planning at Development Control/Planning Committees](#)

Those persons wishing to speak on a particular application should arrive in the Council Chamber early and make themselves known to the Officers. They will then be invited by the Chairman to speak when the relevant item is under consideration. This will be done in the following order:

- Parish Clerk or Parish Councillor representing the Council in which the application site is located
- Objectors
- Supporters
- The applicant or professional agent / representative

Public speakers in each capacity will normally be allowed 3 minutes to speak.

2. Ward Members attending meetings of Development Control Committees and Planning Referrals Committee may take the opportunity to exercise their speaking rights but are not entitled to vote on any matter which relates to his/her ward.

Val Last  
Governance Support Officer

**Members:**

Councillor Kathie Guthrie – Chairman – Conservative and Independent Group  
Councillor Roy Barker – Vice-Chairman – Conservative and Independent Group

Conservative and Independent Group

Councillors: Julie Flatman  
Jessica Fleming  
Barry Humphreys MBE  
John Levantis  
Dave Muller  
Jane Storey

Green Group

Councillor: Keith Welham

Liberal Democrat Group

Councillor: Mike Norris

**Substitutes**

Members can select a substitute from any Member of the Council providing they have undertaken the annual planning training

**Ward Members**

Ward Members have the right to speak but not to vote on issues within their Wards

## Mid Suffolk District Council

### Vision

**“We will work to ensure that the economy, environment and communities of Mid Suffolk continue to thrive and achieve their full potential.”**

### Strategic Priorities 2016 – 2020

#### 1. Economy and Environment

**Lead and shape the local economy by promoting and helping to deliver sustainable economic growth which is balanced with respect for wildlife, heritage and the natural and built environment**

#### 2. Housing

**Ensure that there are enough good quality, environmentally efficient and cost effective homes with the appropriate tenures and in the right locations**

#### 3. Strong and Healthy Communities

**Encourage and support individuals and communities to be self-sufficient, strong, healthy and safe**

### Strategic Outcomes

**Housing Delivery** – More of the right type of homes, of the right tenure in the right place

**Business growth and increased productivity** – Encourage development of employment sites and other business growth, of the right type, in the right place and encourage investment in infrastructure, skills and innovation in order to increase productivity

**Community capacity building and engagement** – All communities are thriving, growing, healthy, active and self-sufficient

**An enabled and efficient organisation** – The right people, doing the right things, in the right way, at the right time, for the right reasons

**Assets and investment** – Improved achievement of strategic priorities and greater income generation through use of new and existing assets ('Profit for Purpose')

# Agenda Item 5

## SA/22/16

### MID SUFFOLK DISTRICT COUNCIL

Minutes of the meeting of the **DEVELOPMENT CONTROL COMMITTEE B** held at the Council Offices, Needham Market on Wednesday, 28 September 2016 at 09:30 am

**PRESENT:** Councillor Kathie Guthrie – Chairman – Conservative and Independent Group  
Councillor Roy Barker – Vice-Chairman – Conservative and Independent Group

#### **Conservative and Independent Group**

Councillor: Julie Flatman  
Jessica Fleming  
Derrick Haley\*  
Barry Humphreys MBE  
Dave Muller  
John Whitehead\*

#### **Green Group**

Councillor: Keith Welham

#### **Liberal Democrat Group**

Councillor: Mike Norris

#### **Denotes substitute \***

**Ward Member:** Suzie Morley

**In attendance:** Senior Development Management Planning Officer (JPG)  
Senior Legal Executive (KB)  
Senior Planning Officer (IW)  
Governance Support Officers (VL/GB)

#### **SA102 APOLOGIES FOR ABSENCE/SUBSTITUTIONS**

Councillors Derrick Haley and John Whitehead were substituting for Councillors Jane Storey and John Levantis respectively.

#### **SA103 DECLARATIONS OF PECUNIARY/NON-PECUNIARY INTEREST**

Councillor Keith Welham declared a non-pecuniary interest in relation to Application 2357/16 by reason of employment at the application site in the 1960s.

#### **SA104 DECLARATIONS OF LOBBYING**

There were no declarations of lobbying.

**SA105 DECLARATIONS OF PERSONAL SITE VISITS**

There were no declarations of personal site visits.

**SA106 MINUTES**

The Minutes of the meeting held on 31 August 2016 were confirmed and signed as a correct record.

**SA107 TO RECEIVE NOTIFICATION OF PETITIONS IN ACCORDANCE WITH THE COUNCIL'S PETITION PROCEDURE**

None received.

**SA108 QUESTIONS FROM MEMBERS**

None received.

**SA109 SCHEDULE OF PLANNING APPLICATIONS**

<b>Application Number</b>	<b>Representations from</b>
2357/16	Mr J Bahar (Applicant)

Item 1

Application	2707/16
Proposal	Retention of concrete pad and addition of shingle to driveway
Site Location	<b>FELSHAM</b> - 4 Church Road, IP30 0PN
Applicant	Ms S Applin

By a unanimous vote

**Decision**

**That Full Planning Permission be granted subject to the following conditions:**

- 1 Standard time limit**
- 2 List of approved documents**
- 3 Highways: Access**
- 4 Highways: Surface water drainage**
- 5 Shingle to be min. 20mm. gauge**
- 6 All new surfacing materials to be free draining.**

Item 2

Application	2357/16
Proposal	Use of land for the stationing of 16 holiday lodges without compliance with condition 2b of planning permission 1054/15 which restricts the duration of occupancy
Site Location	<b>STONHAM PARVA</b> – Magpie Inn, Norwich Road IP14 5JY
Applicant	Mr J Bahar

At the beginning of his presentation on the application, the Case Officer referred to the tabled papers, which amended Condition 2. He then replied to Members' questions, including in relation to the future ownership of the holiday lodges, planning enforcement matters and management of the site.

Mr Bahar (Applicant) spoke about the challenges of running a rural pub and how the business needed to diversify its operation in order to stay viable.

Councillor Suzie Morley, Ward Member for The Stonhams, commented that the proposed development would lack individual outside space for the lodges, access to residential amenities and bring little benefit to the local businesses other than the Magpie Inn.

During the debate Members considered various related matters, including proximity of other similar sites, restrictions to the occupation of the lodges, site management and enforcement matters.

By 7 votes to 3

**Decision –**

**That Approval without compliance with part (b) of condition no. 2 be granted subject to condition no. 2 of the permission granted under 1054/15 being replaced with the following new condition:-**

2. **i) the lodges shall be occupied for holiday purposes only.**
  - ii) the lodges shall not be occupied as a person's sole, or main place of residence**
  - iii) the owners/operators shall maintain an up-to-date register of all owners/occupiers of individual lodges on the site, and of their main home addresses, and shall make this information available at all reasonable times to the local planning authority.**
  - iv) The lodges shall not be occupied during the month of February in any calendar year; and**
- the inclusion of all other conditions recorded on permission 1054/15**

.....  
Chairman

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## MID SUFFOLK DISTRICT COUNCIL

### DEVELOPMENT CONTROL COMMITTEE B – 23 November 2016

#### SCHEDULE OF APPLICATIONS FOR DETERMINATION BY THE COMMITTEE

Item	Ref No.	Location And Proposal	Ward Member	Officer	Page No.
1.	4071/16	<b><u>9 Finborough Road Stowmarket. – Variation of Condition 5</u></b>	Cllr Lesley Mayes Cllr Paul Ekpenyong	GW	1-13
2.	3270/16	<b><u>Land adjacent to Wyverstone Road, Bacton – Outline Planning Permission for residential development, associated highway, car parking and open space, including access and layout</u></b>	Cllr Jill Wilshaw	GW	14-80
3	3146/16	<b><u>Land at Orchard Way School Road Coddendam – Erection of a detached dwelling, formation of parking area and vehicular access.</u></b>	Cllr Tim Passmore	LW	81-112

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MID SUFFOLK DISTRICT COUNCIL  
DEVELOPMENT CONTROL COMMITTEE -

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**AGENDA ITEM NO** 1  
**APPLICATION NO** 4071/16  
**PROPOSAL** Variation of condition 5 following grant of planning permission 0958/16.  
**SITE LOCATION** 9 Finborough Road, Stowmarket, IP14 1PN  
**SITE AREA (Ha)**  
**APPLICANT** Mr Netton  
**RECEIVED** September 28, 2016  
**EXPIRY DATE** December 29, 2016

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**REASONS FOR REFERENCE TO COMMITTEE**

The application is referred to committee for the following reason :

it is a "Major" application for a residential land allocation for 15 or over dwellings

**PRE-APPLICATION ADVICE**

1. No pre-application advice was sought in respect of the proposal to vary the condition.

**SITE AND SURROUNDINGS**

2. The application site is situated on the corner of Finborough Road and Iliffe Way. The site currently accommodates a single residential dwelling set back from the Finborough Road frontage and indeed separated by means of a pond, which extends across this site and the neighbouring No. 7 Finborough Road.

There are trees both to the Finborough Road and Iliffe Way frontages, those on Iliffe Way having a Tree Preservation Order and those to Finborough Road protected by the Conservation Area designation of this part of the site.

The neighbouring No. 7 Finborough Road consists of several parts having been redeveloped, to the front, parallel to the existing dwelling on the application site are Orbit Housing Offices, converted from the original dwelling, to the rear of this is a respite care facility and two bungalows.

The surrounding area in respect of Finborough Road is predominantly residential and forms part of the Stowmarket Conservation Area, and which includes the front part of the application site.

To the south of the site the character of the area varies, this area being used for car parking for access to the supermarket, various shops and the town centre.

The Conservation Area in the vicinity of the site is characterised by a predominantly linear form of development with plots facing the road, being

Victorian and early 20th century semi-detached and terraced brick dwellings.

### HISTORY

3. The planning history relevant to the application site is:

0958/16	Demolition of existing dwelling and construction of 22no. new dwellings with 18no. parking spaces to the rear. Creation of new vehicle access from Iliffe Way	Granted 28/09/2016
1424/08	Remove one cedar tree.	Raise No Objection 01/05/2008
2226/05	Canopy reduce one yew tree by 50%.	Raise No Objection 14/11/2005
0763/80	Erection of extension to dwelling	Granted 27/08/1980

### PROPOSAL

4. Following the grant of planning permission 0958/16 this application has been submitted to vary the terms of condition 5 of that consent to allow the development to commence in advance of the agreement of works to move the pedestrian crossing and the implementation of such works.

### POLICY

5. **Planning Policy Guidance**

See Appendix below.

### CONSULTATIONS

6. **Stowmarket Parish Council**

The Town Council opposes the application. Allowing the site to be established prior to the existing dropped kerbs and tactile paving on Iliffe Way being relocated, will raise pedestrian safety issues.

#### **Suffolk County Council Highways**

I have no objection to the desired change to Condition 5 of 0958/16 to allow demolition and site set up using the existing access to the site.

#### **MSDC Environmental Health**

With respect to "other" environmental health issues I have no objection.

**MSDC Tree Officer**

**LOCAL AND THIRD PARTY REPRESENTATIONS**

7. This is a summary of the representations received.

**One objection received**

Moving the drop curb is necessary before any suitable access to the site can begin.

**ASSESSMENT**

8. There are two main considerations which will be addressed as follows.

- Principle of Development
- Highway Safety

**• PRINCIPLE OF DEVELOPMENT**

**National Planning Policy Framework**

The National Planning Policy Framework (NPPF) was published on 27<sup>th</sup> March 2012. It provides that the NPPF *"does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved, and proposed development that conflicts should be refused unless other material considerations indicate otherwise"*.

**Development Plan**

The application site is situated within the settlement boundary of Stowmarket, designated as a Town in Core Strategy Policy CS1. The principle of the provision of residential development within the settlement boundary is considered to be acceptable in principle. As such the proposal is considered to be acceptable in principle subject to detailed compliance with Policies GP1, H3, H10, H13, H14, H15, H16, HB13, CL2, CL8, T9 and T10 of the saved Mid Suffolk Local Plan (1998), Policy CS1, CS3 and CS5 of the Core Strategy (2008) and Policies FC1 and FC1.1 of the Core Strategy Focused Review (2012) and other material considerations.

However paragraph 49 of the NPPF states that:

*"Relevant policies for the supply of housing should not be considered up-to-date if the local planning authority cannot demonstrate a five-year supply of deliverable housing sites."*

Mid Suffolk District Council does not have this housing land supply at this time and as such the relevant policies set out above are not considered to be up to date. However, the NPPF nevertheless requires that development be

sustainable and that adverse impacts do not outweigh the benefits to be acceptable in principle.

This principle has been considered with the site having extant permission for the erection of 22 dwellings and the creation of a new access to the site.

The proposal in this instance as such solely relates to the variation of a condition, which is not unacceptable in principle subject to detailed compliance with relevant local plan policies and other material considerations.

- **HIGHWAY SAFETY**

On the extant consent (0958/16) condition 5 states:

*Prior to the commencement of development the existing dropped kerbs and tactile paving on Iliffe Way associated with the pedestrian crossing shall be relocated to avoid the proposed new vehicular access. The replacement pedestrian crossing point shall be laid out and constructed in accordance with details that shall first have been submitted to and approved in writing by the Local Planning Authority.*

*Reason: To ensure that a replacement pedestrian crossing is provided due to the existing crossing conflicting with the new vehicular access location.*

This condition prevents any works from being undertaken for the commencement of the development, including any works for site set-up and demolition until the scheme for the dropped kerb has been agreed and the relocation undertaken.

In order to facilitate the earliest possible start on site the applicants have applied to discharge this condition to agree the scheme, however they have also applied through this variation to enable the commencement of the development before the dropped kerb has been relocated.

The demolition of the existing building could be undertaken using the existing site access, thereby not affecting the existing dropped kerb, and indeed a demolition notice has been granted in this regard.

In the light of this and that the condition could be amended to both ensure the provision of the relocated dropped kerb before the new access is first used and enable the commencement of construction works it is not considered that the proposed variation of this condition would harm highway safety or result in unacceptable harm to consider refusal in this respect.

No other alterations to the scheme are proposed and Suffolk County Council Highways raise no objection to the change to condition 5 to allow demolition and site set-up using the existing access to the site.

- **CONCLUSION**

Works for demolition could be safely carried out using the existing access to the site and the condition could still require the relocation of the dropped kerb before the construction of the new site access and construction.

The development is considered to be in accordance with the relevant Local Plan, Core Strategy and Core Strategy Focused Review policies and the objectives of the NPPF.

### **RECOMMENDATION**

**Subject to the prior agreement of a Section 106 Planning Obligation on appropriate terms to the satisfaction of the Professional Lead - Growth and Sustainable Planning to secure:**

- Affordable housing

**That the Planning Lead - Growth and Sustainable Planning by authorised to grant Full Planning Permission subject to conditions as 0958/16:**

- Standard time limit
- Approved plans
- Implementation of surface water strategy prior to construction of hard standing
- Access completed in accordance with drawing and available for use prior to first occupation
- New vehicular access surfaced with bound material
- Details to show means to prevent discharge of surface water onto the highway
- Any gates set back a minimum of 10m
- Removal of permitted development rights such that access shall only be from Iliffe Way
- Parking and manoeuvring areas provided prior to first occupation
- Hard and soft landscaping details and implementation
- Biodiversity protection and enhancement measures
- Foundation design and no dig construction methods
- Details for leaf-drop measures
- Materials
- Construction working hours
- Levels to be agreed

#### **And amended condition:**

The existing site access shall only be used for access to the site for tree protection, site set-up and demolition.

Prior to the commencement of any works other than listed above the existing dropped kerbs and tactile paving on Iliffe Way associated with the pedestrian crossing shall be relocated to avoid the proposed new vehicular access.

The replacement pedestrian crossing point shall be laid out and constructed in accordance with details that shall first have been submitted to and approved in writing by the Local Planning Authority.

Philip Isbell  
Professional Lead - Growth & Sustainable Planning

Gemma Walker  
Senior Planning Officer

## APPENDIX A - PLANNING POLICIES

### 1. Mid Suffolk Core Strategy Development Plan Document and the Core Strategy Focused Review

**CSFR-FC1** - PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT  
**CSFR-FC1.1** - MID SUFFOLK APPROACH TO DELIVERING SUSTAINABLE DEVELOPMENT

**Cor1** - CS1 Settlement Hierarchy  
**Cor5** - CS5 Mid Suffolks Environment  
**Cor6** - CS6 Services and Infrastructure  
**Cor8** - CS8 Provision and Distribution of Housing  
**Cor9** - CS9 Density and Mix  
**CS SAAP** - Stowmarket Area Action Plan

### 2. Mid Suffolk Local Plan

**GP1** - DESIGN AND LAYOUT OF DEVELOPMENT  
**HB13** - PROTECTING ANCIENT MONUMENTS  
**HB8** - SAFEGUARDING THE CHARACTER OF CONSERVATION AREAS  
**HB9** - CONTROLLING DEMOLITION IN CONSERVATION AREAS  
**HB1** - PROTECTION OF HISTORIC BUILDINGS  
**CL8** - PROTECTING WILDLIFE HABITATS  
**RT12** - FOOTPATHS AND BRIDLEWAYS  
**H17** - KEEPING RESIDENTIAL DEVELOPMENT AWAY FROM POLLUTION  
**H14** - A RANGE OF HOUSE TYPES TO MEET DIFFERENT ACCOMMODATION NEEDS  
**H16** - PROTECTING EXISTING RESIDENTIAL AMENITY  
**H15** - DEVELOPMENT TO REFLECT LOCAL CHARACTERISTICS  
**T8** - LORRY PARKING IN TOWNS  
**T10** - HIGHWAY CONSIDERATIONS IN DEVELOPMENT

### 3. Planning Policy Statements, Circulars & Other policy

**NPPF** - National Planning Policy Framework

## APPENDIX B - NEIGHBOUR REPRESENTATIONS

Letter(s) of representation(s) have been received from a total of 1 interested party(ies).

The following people **objected** to the application

[REDACTED]

The following people **supported** the application:

The following people **commented** on the application:





**Title:** Site Location Plan  
**Reference:** 0958/16 - 4071/16 .  
**Site:** 9 Finborough Road  
 Stowmarket



**MID SUFFOLK DISTRICT COUNCIL**  
 131, High Street, Needham Market, IP6 8DL  
 Telephone : 01449 724500  
 email: customerservice@csduk.com  
 www.midsuffolk.gov.uk



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**Title:** Constraints Map

**Reference:** 0958/16 & 4071/16

**Site:** 9 Finborough Road  
Stowmarket

**Public rights of way**

- Public rights of way
- Footpath
- Restricted Byway
- Bridleway
- Byway

**Conservation area**

- Conservation area



**MID SUFFOLK DISTRICT COUNCIL**

131, High Street, Needham Market, IP6 8DL  
Telephone : 01449 724500  
email: customerservice@csdn.gov.uk  
www.midsuffolk.gov.uk

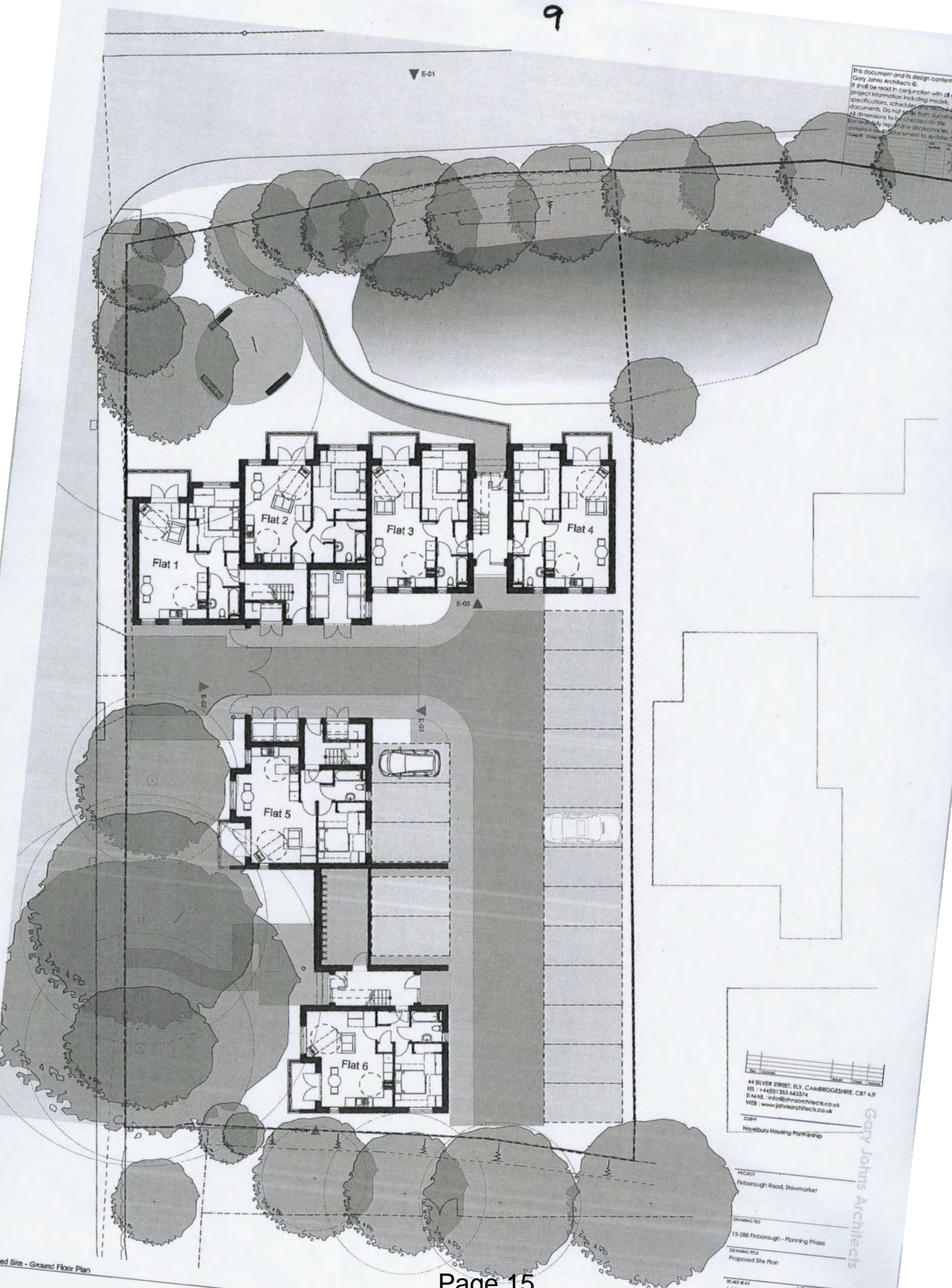


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44 SILVER STREET, ELY, CAMBRIDGESHIRE, CB7 4JF  
 TEL: +44(0)1353 66374  
 E-MAIL: info@johnsarchitects.co.uk  
 WEB: www.johnsarchitects.co.uk

Client:  
 Haverbury Housing Partnership

PROJECT:  
 Finborough Road, Stowmarket

DRAWING REF:  
 15-288 Finborough - Planning Phase

DRAWING TITLE:  
 Proposed Site Plan

SCALE # 1:	1:100	DATE:	
DRAWN:	GU	CHECKED:	GU
DATE:	01/01/15	DATE:	01/01/15
DRAWING NUMBER:	15-288	REVISION:	020

Gary Johns Architects

**From:** Michelle Marshall [mailto:Michellelm@stowmarket.org]  
**Sent:** 25 October 2016 09:41  
**To:** Planning Admin  
**Subject:** Planning application 4071/16

Please see below for comment from Stowmarket Town Council in respect of planning application 4071/16:

*The Town Council opposes the application. Allowing the site to be established prior to the existing dropped kerbs and tactile paving on Iliffe Way being relocated, will raise pedestrian safety issues.*

Kind regards,  
Michelle

Michelle Marshall  
Deputy Town Clerk

Stowmarket Town Council  
Milton House | Milton Road South | Stowmarket | Suffolk | IP14 1EZ

01449 612060 | [michellelm@stowmarket.org](mailto:michellelm@stowmarket.org) | [www.stowmarket.org](http://www.stowmarket.org)



@stowmarketTC



**From:** David Harrold  
**Sent:** 19 October 2016 09:33  
**To:** Planning Admin  
**Cc:** Gemma Walker  
**Subject:** Plan ref 4071/16/FUW 9 Finborough Road, Stowmarket. EH - Other Issues

Thank you for consulting me on the variation of condition 5 to planning consent 0958/16.

With respect to "other" environmental health issues I have no objection.

David Harrold MCIEH

Senior Environmental Health Officer  
Babergh and Mid Suffolk Council

Your Ref: MS/4071/16  
Our Ref: 570\CON\3383\16  
Date: 18<sup>th</sup> October 2016  
Highways Enquiries to: martin.egan@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**  
Email: [planningadmin@babberghmidsuffolk.gov.uk](mailto:planningadmin@babberghmidsuffolk.gov.uk)

The Planning Officer  
Mid Suffolk District Council  
Council Offices  
131 High Street  
Needham Market  
Ipswich  
Suffolk  
IP6 8DL

**For the Attention of:** Gemma Walker

Dear Sir,

**TOWN AND COUNTRY PLANNING ACT 1990  
CONSULTATION RETURN MS/4071/16**

**PROPOSAL:** Variation of condition 5 following grant of planning permission 0958/16  
**LOCATION:** 9, Finborough Road, Stowmarket  
**ROAD CLASS:**

Notice is hereby given that the County Council as Highway Authority make the following comments:

I have no objection to the desired change to Condition 5 of 0958/16 to allow demolition and site set up using the existing access to the site.

Yours faithfully

**Mr Martin Egan**  
**Highways Development Management Engineer**  
Strategic Development – Resource Management

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MID SUFFOLK DISTRICT COUNCIL  
DEVELOPMENT CONTROL COMMITTEE -

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<b>AGENDA ITEM NO</b>	2
<b>APPLICATION NO</b>	3270/16
<b>PROPOSAL</b>	Application for Outline Planning Permission for residential development, associated highway, car parking and open space including Access & Layout
<b>SITE LOCATION</b>	Land adjacent Wyverstone Road, Bacton IP14 4LH
<b>SITE AREA (Ha)</b>	2.7
<b>APPLICANT</b>	Laurence Homes (Eastern) Ltd
<b>RECEIVED</b>	August 1, 2016
<b>EXPIRY DATE</b>	December 8, 2016

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**REASONS FOR REFERENCE TO COMMITTEE**

The application is referred to committee for the following reason :

it is a "Major" application for a residential land allocation for 15 or over dwellings

**PRE-APPLICATION ADVICE**

1. Pre-application advice was sought in respect of this proposal.

**SITE AND SURROUNDINGS**

2. The application site is situated to the North of the The Street, Bacton. It abuts the settlement boundary, in particular properties in Earlsbrook at the south-eastern boundary.

The south-western and north-western boundaries of the site abut open countryside, whilst the north-eastern boundary is adjacent to Wyverstone Road, opposite to Bacton Middle School.

The site as existing is an open field. Only the boundary to Earlsbrook has established landscaping, primarily to those properties, the remaining boundaries, including to the roadside, being open.

**HISTORY**

3. There is no relevant on-site planning history. However, planning permission has been granted on land adjacent to Broad Road (ref: 0764/15) for 47 dwellings on a site outside the settlement boundary.

Planning permission was granted by the Development Control Committee for the Broad Road site as although that site is located outside of a settlement boundary the proposed development included a new footpath link that is

considered to allow the development to be well related to services and facilities in the main village. The details of the proposed highway alterations necessary to facilitate a new footpath are considered to be acceptable and protect highway safety. Although outside of the settlement boundary, that proposed development was not considered to give rise to significant adverse impacts that cannot reasonably be overcome by conditions or further details in any subsequent application for reserved matters.

## PROPOSAL

4. The application proposal is for outline planning permission for residential development, associated highway, car parking and open space including Access & Layout.

The application proposed 64 dwellings, with 42 market units in a mix of 2, 3 and 4 bedrooms, 16 social rented properties in a mix of 1, 2 and 3 bedrooms as well as 6 intermediate units with 2 and 3 bedrooms.

Access is to be provided in two locations, both accessing Wyverstone Road. The proposed layout is also the subject of this application.

The two access points provide access to the site from Wyverstone Road, separated from both Earlsbrook and the existing school entrance points. These lead into cul-de-sacs, linked with a shared surface element. To the countryside edge the layout is more open, including the attenuation pond to the western corner.

The appearance, landscaping and scale are reserved matters to be determined under subsequent reserved matters applications.

## POLICY

5. **Planning Policy Guidance**

See Appendix below.

## CONSULTATIONS

6. **Bacton Parish Council**

I set out below the comments from Bacton Parish Council in respect of the above application.

### NPPF 7 Sustainable development

The Parish Council considered the location was close to existing village services and helps with their sustainability. The Parish Council would request that the local Doctors surgery is included as a consultee in addition to the NHS/ CCG.

### 49 Presumption in favour of sustainable development

This was noted by the Parish Council and the lack of a 5 year housing supply means policies in connection with the supply of housing cannot be considered

up to date.

#### FC1 PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT

See above

#### FC1.1 MID SUFFOLK APPROACH TO DELIVERING SUSTAINABLE DEVELOPMENT

See above

#### FC2 PROVISION AND DISTRIBUTION OF HOUSING

There are currently no other applications/permissions in the vicinity for development, although the Parish council is aware of a potential application for the middle school site. Given the absence of other permissions at present the Parish Council have no issue with this site in respect of this policy.

#### CS1 Settlement Hierarchy

The proposed application fits within Mid Suffolk's policy for the allocation of housing development to towns and key service centres such as Bacton, although the Parish Council note this policy may no longer apply.

#### CS2 Development in the Countryside & Countryside Villages

The Parish Council note this site is within countryside but is opposite a brown field site and is alongside the existing settlement boundary.

#### CS4 Adapting to Climate Change

The Parish Council noted the proposed plan includes surface water management proposals.

#### CS5 Mid Suffolk's Environment

The Parish Council noted that there would be a loss of agricultural land but the proposed development included a green space, and the ecology report highlighted no matters of concern.

#### CS6 Services and Infrastructure

The Parish Council has concern over the capacity at the sewage works and for broadband connectivity with the proposed development.

#### CS7 Brown Field Target

The Parish Council notes this is a green field site and therefore is not helping achieve this target.

#### CS8 Provision and Distribution of Housing

See comments above on FC2

#### CS9 Density and Mix

The density and mix of housing particularly as it includes a number of smaller units, fits in with the outcomes of Parish Council consultations in the village in 2015.

#### GP1 DESIGN AND LAYOUT OF DEVELOPMENT

The Parish Council consider the suggested design of the development and the accompanying street elevations are in line with this policy.

#### H3 HOUSING DEVELOPMENT IN VILLAGES

The Parish council note there are cottages in Wyverstone Road near the site and the development in Earlsbrook which should be considered at the to ensure the designs are consistent.

#### H4 PROPORTION OF AFFORDABLE HOUSING IN NEW HOUSING DEVELOPMENT

The Parish Council note the inclusion of affordable housing and are pleased this includes a majority of smaller units.

#### H14 A RANGE OF HOUSE TYPES TO MEET DIFFERENT ACCOMMODATION NEEDS

The Parish Council would prefer to see a higher proportion of 2 Bed Private Housing but are pleased to note the inclusion of 3 bungalows.

#### H15 DEVELOPMENT TO REFLECT LOCAL CHARACTERISTICS

The drawings submitted for this outline application are broadly in keeping.

#### H17 KEEPING RESIDENTIAL DEVELOPMENT AWAY FROM POLLUTION

The surface water pond is away from proposed and existing housing. As noted previously the Parish Council is concerned at the capacity of the sewage system and the impact of these additional houses on the system within the village.

#### T9 PARKING STANDARDS

The Parish Council is concerned at the lack of space for parking, as many households now have more cars than allowed for in the scheme and with visitors the shared surfaces will become crowded with parked cars making access by emergency services difficult. Consideration should be given to some off road visitor parking areas.

#### T10 HIGHWAY CONSIDERATIONS IN DEVELOPMENT

There was concern around traffic volumes at peak times at the Shop Green junction but it was noted that the traffic flows would be spread out during the day compared to the former middle school.

#### T11 FACILITIES FOR PEDESTRIANS AND CYCLISTS

As with other proposed developments connectivity with the main part of the village should be improved by the developer as follows:

1. improved access for pedestrians into to Shop Green and remove the need for pedestrians to cross the Wyverstone Road; and
2. improved access into the main part of the village by completing the pavement in Church Road.

#### H16 PROTECTING EXISTING RESIDENTIAL AMENITY

The Parish Council note the inclusion of green space by way of a village green, but given the distance from the village playing field would seek the inclusion of play equipment for younger children at least.

#### **Wyverstone Parish Council** (Site adjacent to Parish boundary)

Wyverstone Parish Council made the following comments relating to the above application:

- The development is very dense, and more in line with that of urban areas. It is felt this will change the character of the villages.
- There was concern over the pressure on local services – e.g. doctor and

schools. Primary school accommodation is not capable of meeting demand.

- There is a demonstrable need in Wyverstone for affordable and starter homes for local people, as well as down sizer accommodation, and we would be supportive of more of this type of accommodation.

- There was concern over road capacity, as well as the lack of joined up pavements between the development and Bacton.

### **Highways Agency**

No objection

### **Historic England**

Our specialist staff have considered the information received and we do not wish to offer any comments on this occasion.

Recommendation

The application(s) should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice.

### **Anglian Water**

Request a condition requiring the drainage strategy covering the issue(s) to be agreed.

### **NHS PCT**

This development is not of a size and nature that would attract a specific S106 planning obligation. Therefore a proportion of the required funding for the provision of increased capacity within the existing healthcare premises servicing the residents of this development, by way of reconfiguration, refurbishment, extension or relocation, would be sought from the CIL contributions collected by the District Council, as appropriate.

### **SCC Highways**

#### **Comments received following amendments:**

The new drawing is acceptable. If you could amend the drawing revision when you write up the conditions so that the highway conditions relate to the new drawing that would be fine.

#### **Initial comments received:**

The County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

The Highway Authority has no objection in principle to this development but there are various issues with the proposed layout as shown on Drawing Number 12.023/101/C and these are listed below. Provided that these minor amendments are made then the highway conditions which follow will be appropriate.

**LAYOUT COMMENTS**

- 1) In order for garages to be considered as car parking spaces internal sizes need to be 7m by 3m.
- 2) The car parking spaces numbered 28 to 30 need to be wider where they abut fences or wall boundaries in order to allow access to both sides of the cars.
- 3) The visibility setback for each access road may be reduced to 2.4m.
- 4) There is insufficient car parking and visitor parking associated with Plots 52 to 57.
- 5) There appears to be no parking allocated for Plot 33.
- 6) There is insufficient parking and visitor parking provided for Plots 29 to 33.

Subject to suitable layout amendments the following conditions will apply.

**SCC Rights of Way**

No comments to make

**SCC Landscape and Ecology**

This proposal is acceptable in landscape terms subject to the following conditions:

Soft landscape masterplan  
 Design code  
 Soft landscaping  
 Hard landscaping  
 External lighting  
 Tree protection

**SCC Archaeology**

There would be no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. However, in accordance with the *National Planning Policy Framework* (Paragraph 141), we would recommend that any permission granted should be the subject of planning conditions to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed

**SCC Fire and Rescue**

Suffolk Fire Service requires minimum carrying capacity for hard standing for pumping/high reach vehicles of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations.

Suffolk Fire and Rescue Service recommends that fire hydrants be installed within this development on suitable route for laying hose, i.e. avoiding obstructions. However, it is not possible at this time to determine the number of fire hydrants required for fire fighting purposes. The requirement will be determined at the water planning stage when site plans have been submitted by the water companies.

If the Planning Authority is minded to grant approval, the Fire Authority will request that adequate provision is made for fire hydrants, by the imposition of a suitable condition.

### **SCC Flood and Water Management**

Suffolk County Council, Flood & Water Management can recommend approval subject to conditions.

### **SCC S106**

Request for funds, which are subject to CIL if planning permission is granted and implemented.

### **Suffolk Police Force**

From the plans I have seen it would appear that a number of the dwellings will be positioned facing each other, which is a preferred police view of sighting properties as it allows for natural surveillance of the area and one another's homes. It is important that the boundary between public and private areas is clearly indicated. Each building needs two faces: a front onto public space for the most public activities and a back where the most private activities take place. If this principle is applied consistently, streets will be overlooked by building fronts improving community interaction and offering surveillance that creates a safer feeling for residents and passers-by. For the majority of housing developments, it will be desirable for dwelling frontages to be open to view, so walls, fences and hedges will need to be kept low or alternatively feature a combination of wall (maximum height 1 metre) and railings or timber picket fence.

From the plans seen I note that a number of properties have windows designed for the gable end walls. This type is preferred by police as it allows natural surveillance of the area and tends to detract graffiti, or inappropriate loitering. Where blank gable walls are unavoidable there should be a buffer zone, using either a 1.2 – 1.4m railing (with an access gate) or a 1m mature height hedge with high thorn content.

I note within the Design Access Statement referring to "Landscape strategy" at page 10 refers to hedgerow and tree planting for the south western and north western boundaries. I also note that the properties already in situ on Earlsbrook (south eastern side of the development) have reasonable boundaries. I would recommend that all outer perimeters, are enclosed by natural defensive vegetation, such as Hawthorn, Berberis or Pyracantha to a height of no more than 1 metre as laid out in Para 17 of SBD New Homes 2016, referring to "Planting in new developments".

### **MSDC Strategic Housing**

The development is for residential development in the region of 64 dwellings.

Recommendation –

(a) Approve subject to a planning condition to ensure that allocations to the "affordable units" are in accordance with the agreed allocations policy as attached.

(b) Approve subject to any shared equity units (6) are changed to shared ownership units

### **MSDC Heritage**

The Heritage Team considers that the proposal would cause no harm to a designated heritage asset because it would have a neutral impact on the setting of listed buildings.

#### **MSDC Environmental Health Land Contamination**

I have reviewed the application and can confirm that I have no in principle objection to the proposed development so long as the attached condition is included with any permission that may be granted for the site. This is owing to the fact that there was formerly a waste disposal function operating from the site which requires further investigation.

#### **MSDC Environmental Health Noise/Odour/Light/Smoke/Emissions**

Thank you for consulting me on the above outline application for residential development.

I have no objection to the proposed development but would recommend that a planning condition is attached which restricts construction site working hours to:

Monday to Friday between 08:00 and 18:00 hrs  
 Saturday between 09:00 hrs and 13:00 hrs  
 No work to be undertaken on a Sunday, Bank or Public Holiday

Reason – To mitigate the adverse noise impact from construction activity on the occupiers of existing dwellings nearby.

#### **MSDC Tree Officer**

There are no existing arboricultural implications relating to this proposal. However, appropriate new planting should be agreed in order to help provide a high quality development and soften its visual impact within the local area.

### **LOCAL AND THIRD PARTY REPRESENTATIONS**

7. This is a summary of the representations received.

#### **Objection: 17**

Pressure on village school particularly parking  
 Highway safety of road between Bacton and Haughly  
 Limited parking at village shop  
 Increase in lorries accessing the village by Wyverstone Road  
 Traffic  
 Limited parking  
 School places  
 Lack of facilities in Bacton  
 Impact on GP service  
 Loss of rural environment  
 Visual impact  
 Loss of privacy and light



Light and noise pollution  
 Infrastructure - sewer, power, broadband and mobile signal  
 Out of keeping with Bacton  
 High density  
 Over-expansion of Bacton  
 Loss of green land, habitats and biodiversity  
 Cumulative impact with other proposals  
 Lack of public transport  
 Need for a new village hall

**Comment: 2**

Appropriate to the village  
 Accessible to the shop and support the shop  
 Too dense  
 Impact on road safety  
 Need for play area

**ASSESSMENT**

8. The main considerations in the determination of this application are:

- Principle of development
- Design and layout
- Highway safety
- Flood and surface water drainage
- Residential amenity
- Landscape
- Biodiversity
- Contamination
- Flood Risk
- **Principle of Development**

**National Planning Policy Framework**

The National Planning Policy Framework (NPPF) was published on 27<sup>th</sup> March 2012. It provides that the NPPF "does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved, and proposed development that conflicts should be refused unless other material considerations indicate otherwise".

The NPPF also provides (paragraph 14) that there is " a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision-taking". This paragraph continues "for decision-taking this means approving proposals that accord with the development plan without delay; and where the development plan is absent, silent or relevant policies are out of date, granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or specific policies in this Framework indicate development should be restricted".

### Development Plan

The application site is outside the settlement boundary of Bacton, which is classified as a Key Service Centre by the Core Strategy. As such the proposal for the erection houses in the countryside is contrary to Core Strategy Policies CS1 and CS2 and Local Plan Policy H7.

However paragraph 49 of the NPPF states that:

*"Relevant policies for the supply of housing should not be considered up-to-date if the local planning authority cannot demonstrate a five-year supply of deliverable housing sites."*

Mid Suffolk District Council does not have this housing land supply and as such the relevant policies are not considered to be up to date and on this occasion are not considered to justify refusal in this respect. Indeed paragraph 14 of the NPPF states in this respect:

*"For decision-taking this means:*

*approving development proposals that accord with the development plan without delay; and*

*where the development plan is absent, silent or relevant policies are out of date, granting permission unless:*

*any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or specific policies in this Framework indicate development should be restricted"*

In the light of this the in principle objection on the basis of housing policies does not justify refusal on this basis. However, the NPPF nevertheless requires that development be sustainable and that adverse impacts do not outweigh the benefits to be acceptable in principle.

The question therefore arises whether the development would be sustainable?

Paragraph 7 of the NPPF sets out three dimensions for sustainable development, economic, social and environmental:

*"an economic role – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure;*

*a social role – supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being; and*

*an environmental role – contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy."*

The proposed development is outside the defined settlement boundary of Bacton on greenfield land. Core Strategy CS1 defines Bacton as a key service centre where it is expected that the principle of new residential development within its defined boundary could be supported. Core Strategy CS1 sets out the new residential development shall be encouraged within the settlement boundaries of town and key service centres. The location of the site abutting a key service centre is an important consideration to be taken into account when assessing the sustainability of the development.

The site is situated under 200m from the village shop, which includes a post office, and which route is entirely on a footpath.

The Bull Public House is under 350m from the site. In addition within 850m of the site is the village hall, primary school and Doctors Surgery (part of the Mendlesham Practice). These are all also on accessible on a footpath.

There is a bus service which runs from the village shop one way and from Cotton Methodist Church the other. The Methodist Church is approximately 1800m from the site, and is not entirely linked by a footpath, somewhat limiting the attractiveness in this regard. However, the bus service available is reasonably regular, providing access to Eye and Diss, amongst other places at such times as to provide access to employment opportunities. Furthermore the bus service provides access to Stowmarket both at a time as to provide access to employment opportunities there and somewhat further afield. During the day time the service is reasonably regular both on weekdays and Saturdays.

Overall the combination of the services available within Bacton and the reasonably regular bus service, not only during the daytime but to provide employment opportunities is such that the site can be considered a sustainable location with particular regards to the environmental strand of sustainable development, in particular to adapt to climate change and move towards a low carbon economy.

The application includes an Ecological Scoping Survey with regards to biodiversity. The report concludes that the site is of low ecological value although identifying skylarks, which are on the Birds of Conservation Concern Red List. However, given that the site is currently open agricultural land with little or no landscaping and that the proposal includes measures for support of biodiversity the proposal is considered to offer environmental benefit within the environmental strand of sustainable development.

With regards to the social strand of sustainable development, as set out above the proposal would have access to a variety of local services including the village hall and primary school, such that the proposed dwellings would support the local community and add to the vitality of the rural community.

Furthermore the proposal for the erection of 64 houses would offer benefits economically to the building industry and offering greater housing choices to

support local housing need is further considered to be a benefit of this proposal within the economic strand of sustainable development.

In the light of this the proposal is considered to represent sustainable development with merits in each of the three strands of sustainable development set out in the NPPF as to represent a comprehensive benefit in this regard, such that in principle the proposal is considered to be acceptable.

### **Design and Layout**

Local Plan Policy H15, Core Strategy CS5 and NPPF para. 56 – 58 require any new development to have regard to the character and appearance of the surrounding area and to respect local distinctiveness. The application seeks outline permission only. Details of the appearance, scale and landscaping of the development would be subject of an application for reserved matters if outline permission is granted.

The proposed development would result in the loss of an area of open land. The northern and western boundaries have particular sensitivities and are elevated in relation to the public footpath and will create skyline views. However, subject to a robust landscaping scheme, which can be appropriately controlled by means of a condition the proposal is not considered to have an unacceptable impact to consider refusal in this respect.

The proposed site layout is for 64 houses, which would result in a density of 23.6 per hectare including the attenuation pond and open space and approximately 30 per hectare when these are excluded. The properties are more dense than the neighbouring Earlsbrook properties, which are large properties set in large plots, as opposed to the variety of properties proposed here. This level of density is not in itself considered to be unacceptable and the site impact is softened by the attenuation pond and landscaping such that the proposal is not considered to result in harm to warrant refusal in this regard.

### **Highway Safety**

Local Plan Policy T9, T10 and T11 require that any new development shall not have an adverse impact on highway safety and make suitable provision for sustainable transport. The proposed development would have two access points onto the site from Wyverstone Road.

Following an amendment to the layout SCC Highways have confirmed that they have no objection to the proposal, subject to conditions to control the provision of the highways, visibility splay and parking at the appropriate time.

### **Flood and surface water drainage**

The site is located within Flood Zone 1 with the lowest likelihood of flooding. SCC Flood and Water Management, as the Lead Local Flood Authority recommend approval, subject to condition to control the details of the surface water drainage scheme, its implementation, Sustainable Urban Drainage System components and surface water management plan. As such the proposal is not considered to have an unacceptable impact to consider refusal in this respect.

### **Residential amenity**

Local Plan Policy H16 requires that any new residential development shall not have an adverse impact on the residential amenity of existing dwellings and shall respect the character and appearance of the area.

Consultation responses have been carefully considered. The proposed development would be located to the west of existing properties in Earlsbrook. With regards to the bungalows proposed fronting Wyverstone Road these have a side to rear relationship with the existing properties in Earlsbrook and a separation distance of 15m. In the light of this and the single storey nature of the proposed dwellings these are not considered to risk unacceptable harm as to warrant refusal in this respect.

The remaining properties proposed are two storey and would have a back to back relationship with those in Earlsbrook. With the exception of Plots 9 and 10 the distances between the properties would exceed 30m, and as such would not have an unacceptable impact on residential amenity to consider refusal.

Plots 9 and 10 would have a back to back distance from first floor windows of 24m, which is considered to be sufficient distance to ensure that the proposal would not have unacceptable harm to neighbouring residential amenity as to warrant refusal in this regard.

### **Landscape**

The proposal includes a Landscape and Visual Impact Assessment which SCC Landscape and Ecology conclude provides design principles to reasonably minimise adverse landscape and visual impacts. There is sensitivity with regards to the northern and western boundary, which are elevated in relation to the footpath and will have skyline views. However, subject to a landscaping condition to agree a robust landscaping strategy the proposal is not considered to have an unacceptable impact to consider refusal in this respect. SCC raise no objection, subject to the imposition of these conditions.

### **Biodiversity**

The application includes an Ecology Report which concludes that the site is of low ecological value and does not require further surveys. A scheme for biodiversity enhancement by way of bird and bat boxes are proposed. A condition to secure these measures at the appropriate stage of development would be reasonable to ensure the implementation of these measures. Subject to this condition the proposal is not considered to risk harm to protected species and would offer biodiversity measures such that the proposal is not considered unacceptable to warrant refusal in this regard.

### **Contamination**

The application included the relevant contamination details and Environmental Health have confirmed that subject to a condition the proposal is not considered unacceptable in this regard.

### **Conclusion**

The proposed development is in a sustainable location such that there is a presumption in favour of development, in accordance with the NPPF. The design and layout is considered to respect its surroundings, and is not considered to result in an unacceptable impact on the landscape, residential amenity, highway safety or biodiversity to warrant refusal. The development is considered to be in accordance with the relevant Local Plan, Core Strategy and Core Strategy Focused Review policies and the objectives of the NPPF.

## **RECOMMENDATION**

**(1) Subject to the prior agreement of a Section 106 Planning Obligation on appropriate terms to the satisfaction of the Professional Lead - Growth and Sustainable Planning to secure:**

- 35% Affordable housing

**(2) That the Professional Lead - Growth and Sustainable Planning be authorised to grant Outline Planning Permission subject to conditions including:**

- Time Limit
- Reserved matters
- Approved Plans
- Fire hydrants
- Archaeology scheme and implementation
- Land contamination strategy and remediation
- Soft landscape masterplan
- Design code
- Soft landscaping
- Hard landscaping
- External lighting
- Tree protection
- Foul water strategy to be agreed
- Estate roads and footpaths to be agreed
- Carriageway and footway provided prior to occupation
- Manoeuvring and parking of vehicles provided
- Prior to access being construction the ditch beneath shall be piped or bridged, details to be agreed.
- Surface water drainage scheme to be agreed
- Details of implementation, maintenance and management of surface water drainage to be agreed
- Details of all Sustainable Urban Drainage System components and piped networks have been agreed
- Construction surface water management plan to be agreed
- Construction management including working hours to be agreed

**(3) That in the event of the Planning Obligation referred to in Resolution (1) above not being secured that the Professional Lead - Growth and Sustainable Planning be authorised to refuse planning permission on appropriate grounds**

Philip Isbell  
Professional Lead - Growth & Sustainable Planning

Gemma Walker  
Senior Planning Officer

## **APPENDIX A - PLANNING POLICIES**

### **1. Mid Suffolk Core Strategy Development Plan Document and the Core Strategy Focused Review**

- Cor1** - CS1 Settlement Hierarchy
- Cor2** - CS2 Development in the Countryside & Countryside Villages
- Cor5** - CS5 Mid Suffolks Environment
- Cor8** - CS8 Provision and Distribution of Housing
- Cor9** - CS9 Density and Mix
- CSFR-FC1** - PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT
- CSFR-FC1.1** - MID SUFFOLK APPROACH TO DELIVERING SUSTAINABLE DEVELOPMENT
- CSFR-FC2** - PROVISION AND DISTRIBUTION OF HOUSING
- Cor6** - CS6 Services and Infrastructure
- Cor7** - CS7 Brown Field Target
- Cor4** - CS4 Adapting to Climate Change

### **2. Mid Suffolk Local Plan**

- GP1** - DESIGN AND LAYOUT OF DEVELOPMENT
- H3** - HOUSING DEVELOPMENT IN VILLAGES
- H4** - PROPORTION OF AFFORDABLE HOUSING IN NEW HOUSING DEVELOPMENT
- H14** - A RANGE OF HOUSE TYPES TO MEET DIFFERENT ACCOMMODATION NEEDS
- H15** - DEVELOPMENT TO REFLECT LOCAL CHARACTERISTICS
- H17** - KEEPING RESIDENTIAL DEVELOPMENT AWAY FROM POLLUTION
- T9** - PARKING STANDARDS
- T10** - HIGHWAY CONSIDERATIONS IN DEVELOPMENT
- T11** - FACILITIES FOR PEDESTRIANS AND CYCLISTS
- H16** - PROTECTING EXISTING RESIDENTIAL AMENITY

### **3. Planning Policy Statements, Circulars & Other policy**

- NPPF** - National Planning Policy Framework
- C01/03** - Safeguarding aerodromes, technical sites and military explos

## **APPENDIX B - NEIGHBOUR REPRESENTATIONS**

Letter(s) of representation(s) have been received from a total of **14** interested party(ies).

The following people **objected** to the application

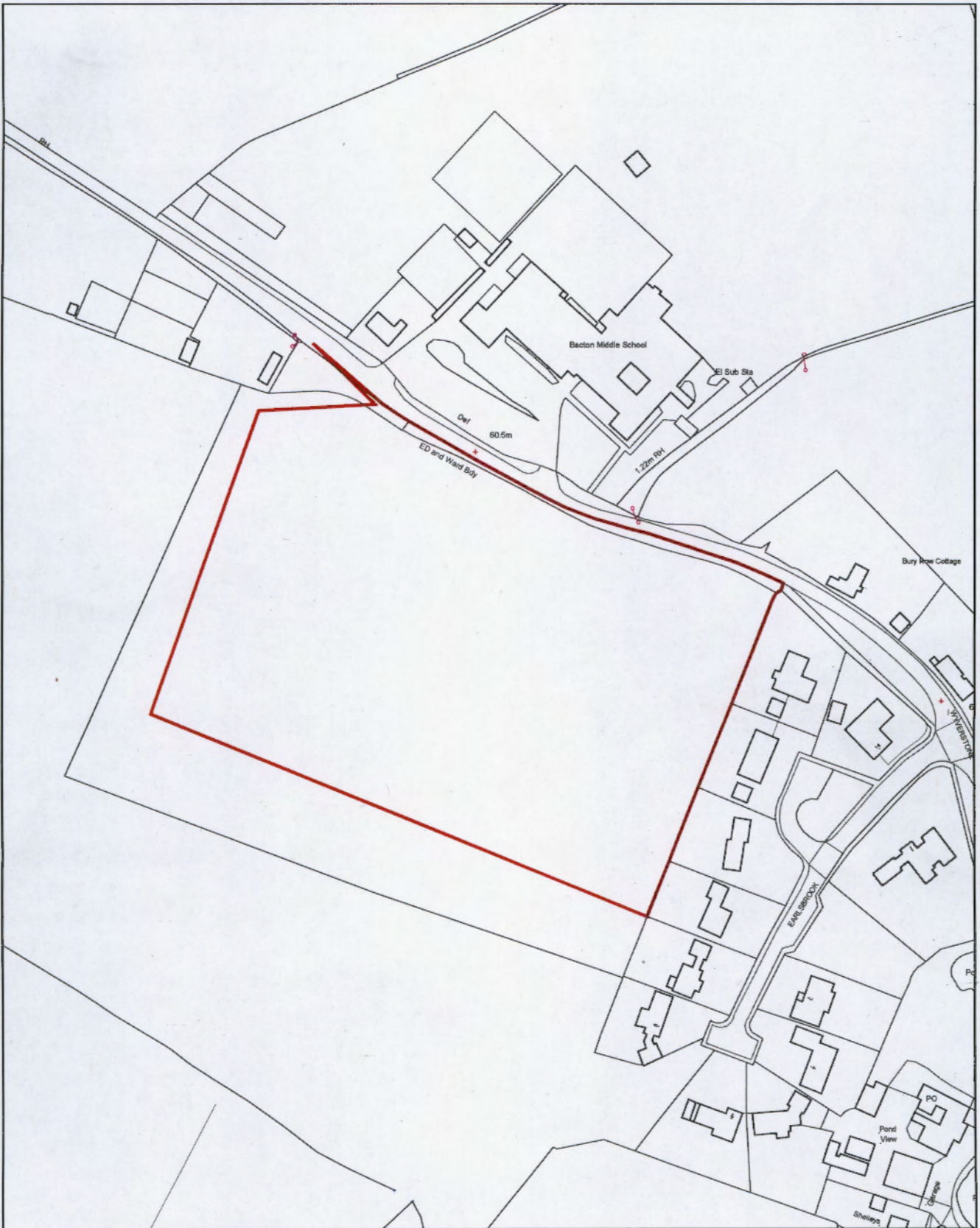
[Redacted list of names and details for those who objected to the application]

The following people **supported** the application:

The following people **commented** on the application:

[Redacted list of names and details for those who supported or commented on the application]





**Title:** Site Location Plan  
**Reference:** 3270/16  
**Site:** Land Adj Wyverstone Road  
 Bacton

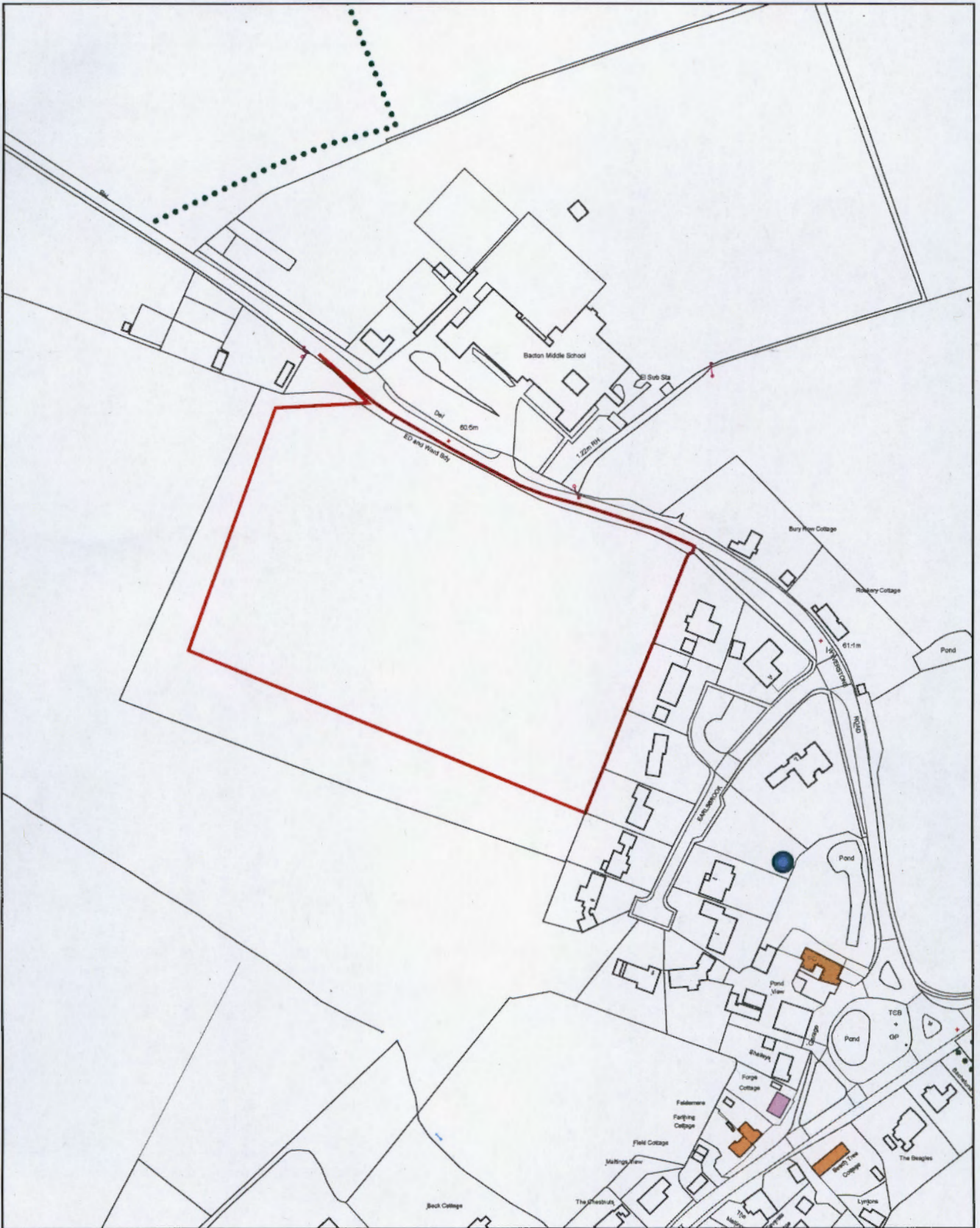


**MID SUFFOLK DISTRICT COUNCIL**  
 131, High Street, Needham Market, IP6 8DL  
 Telephone : 01449 724500  
 email: customerservice@csduk.gov.uk  
 www.midsuffolk.gov.uk



SCALE 1:2000

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**Title:** Constraints Map

**Reference:** 3270/16

**Site:**



**MID SUFFOLK DISTRICT COUNCIL**  
 131, High Street, Needham Market, IP6 8DL  
 Telephone : 01449 724500  
 email: customerservice@csdc.gov.uk  
 www.midsuffolk.gov.uk



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All written dimensions to be checked by the contractor and any discrepancies notified immediately to BDG.

**SCHEDULE**

**AFFORDABLE HOUSING**

**RENT**

1B2P FOG	@ 60sq.m.	1
1B2P flat	@ 47sq.m.	4
2B4P flat	@ 69sq.m.	6
2B4P house	@ 81sq.m.	2
3B5P house	@ 90sq.m.	5
		<b>16</b>

**SHARED EQUITY**

2B4P house	@ 81sq.m.	5
3B5P house	@ 90sq.m.	1
		<b>6</b>

Total **22**

**PRIVATE HOUSING**

2B3P bungalow	@ 61sq.m.	2
3B3P SP bungalow	@ 96sq.m.	1

2B 3P house	@ 69sq.m.	2
3B 5P house	@ 87sq.m.	13
3B 5P house	@ 102sq.m.	6
4B 6P house	@ 110sq.m.	8
4B 6P house	@ 128sq.m.	3
4B 6P house	@ 144sq.m.	2

Total **42**

Total **64**

- REVISIONS
- A. 04.04.18. Western side of layout replanned.
  - B. 20.04.18. Phase 1, 2 & 3 repositioned. Flat blocks reconfigured.
  - C. 11.07.18. S.W. discharge route shown. Attenuation pond updated.
  - D. 20.10.18. Layout revised to accommodate additional parking spaces. Garage sizes corrected.

**DRAWING STATUS**  
**PLANNING**



PROJECT  
Wyverstone Road, Bacton

DRAWING TITLE  
Site Layout

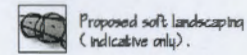
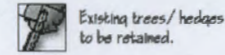
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DATE  
Sept '15

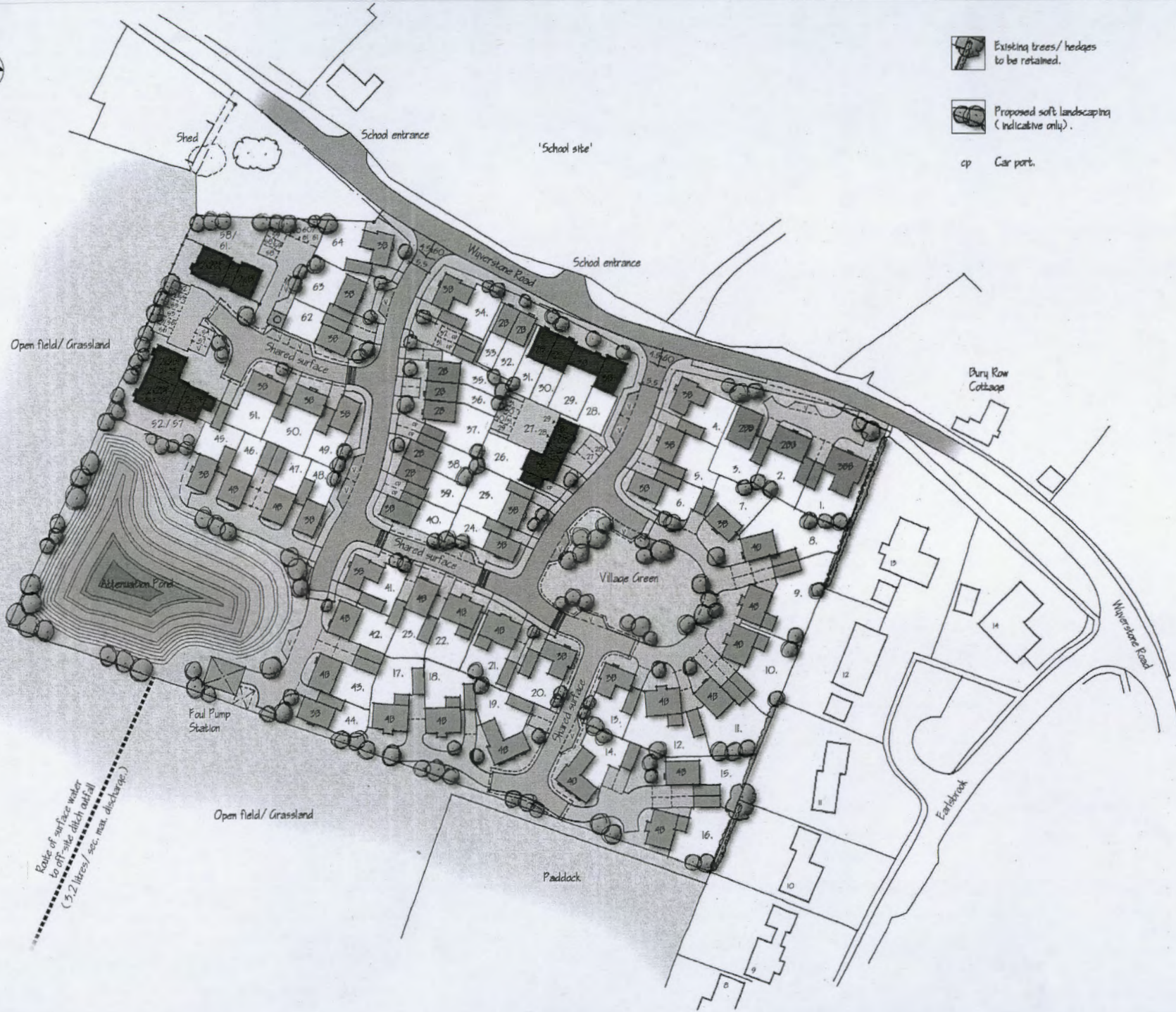
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NUMBER  
12.023/101

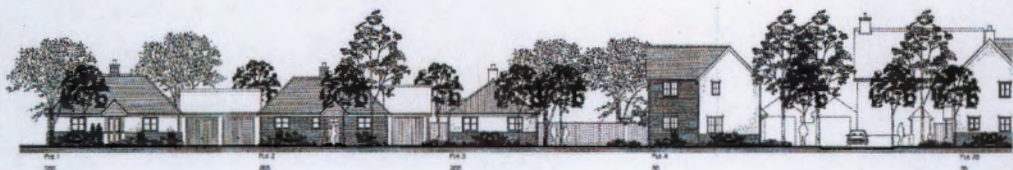


cp Car port.



320/16

No dimensions are to be scaled from this drawing  
All written dimensions to be checked by the contractor  
and any discrepancies notified immediately to BDG



VIEW A: Plots 1-4.



VIEW A Continued: Plots 26-33.



VIEW B: Plots 34-41.



VIEW C: Plots 13, 20-23 & 41.



0 2 4 8 16 20  
1:200 Scale Bar

REVISIONS

DRAWING STATUS  
PLANNING



**BDG DESIGN**  
BDG DESIGN (SOUTH) LTD  
Southway House  
29 Southway, Colchester  
Essex, CO2 7SA  
Tel: 01206 561436  
Fax: 01206 514821  
E-Mail: cad@bdg-design.co.uk

PROJECT  
Wyverstone Road, Bacton

DRAWING TITLE  
Street Elevations

SCALE: 1:200 @ A2 DATE: July '16 DESIGNED BY: SDB CHECKED BY:

NUMBER: 12.023/102

No Dimensions are to be scaled from this drawing.

- Notes:
1. This drawing is Schematic only and subject to I&M detailed design subsequent to Planning Approval.
  2. Drawing to be made in conjunction with the updated Flood Risk Assessment dated October 2016.

- NOTES:
- P1 FPA Version 1
  - P2 Proposed 1 in 100 year storm increased to 40% related Climate Change capacity assessment to pipe sizes and not attenuation level.
  - P3 Indicative Flood extent to demonstrate adequacy of 0.01116 of area & depth required.

CIVIL ENGINEERING & INFRASTRUCTURE DESIGN  
 UNIT 12  
 HANES HILL BUSINESS CENTRE  
 COUCHBECK ROAD  
 HANES CONE  
 ESSEX  
 SS16 3JF  
 TEL: 01206 247081  
 Website: www.witthers.co.uk

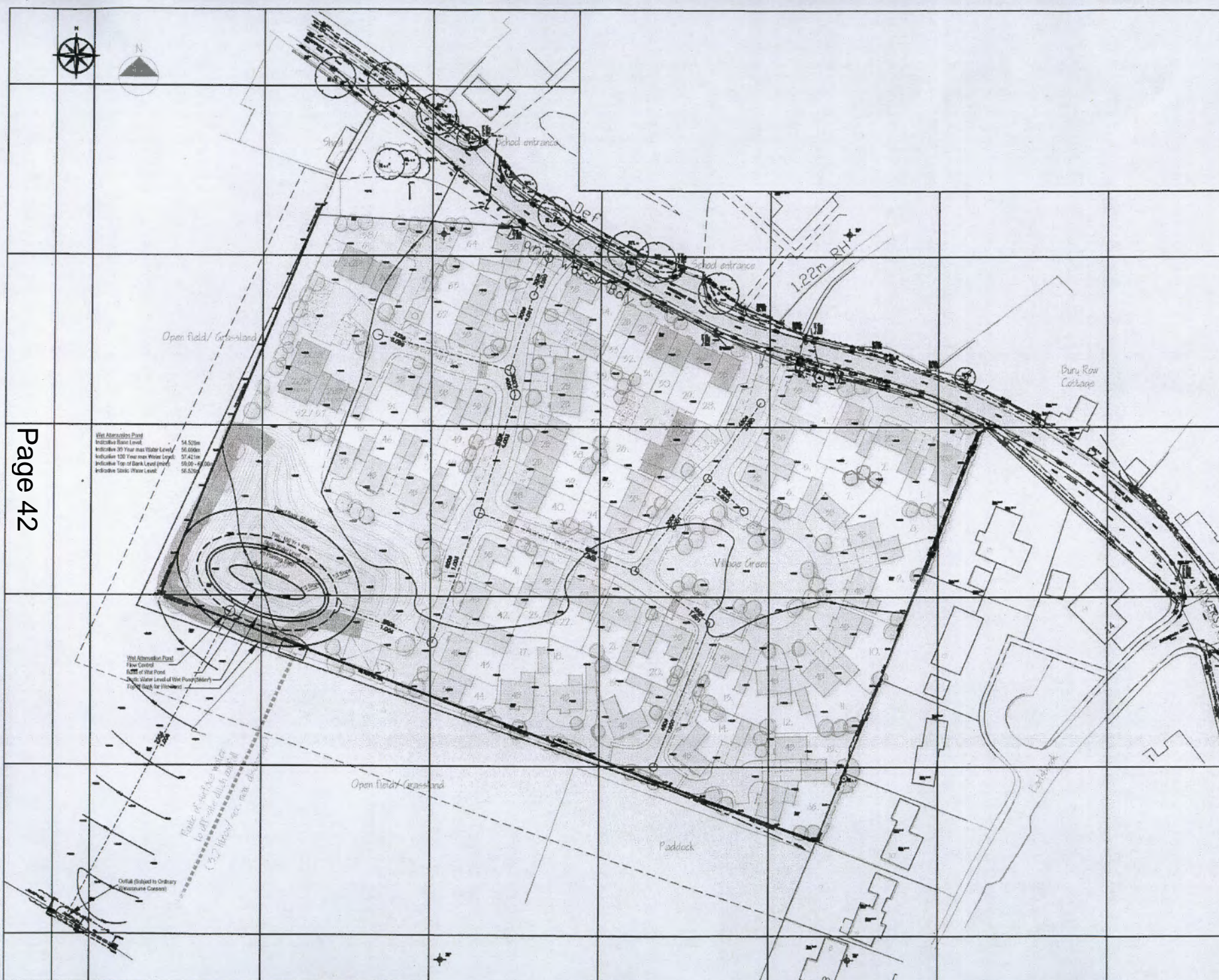


PROJECT: WYVERSTONE ROAD, BACTON

CLIENT: LAURENCE HOMES

DRAWING TITLE:  
**SCHEMATIC SURFACE WATER STRATEGY**

SCALE	DWG	DATE	BY	CHKD
1:500		24/10/16	GS	MAW
STATUS:				
PRE-PLANNING				
DWG NO				REVISION
15-051/100				P3



West Abstraction Pond  
 Indicative Basin Level: 54.50m  
 Indicative 20 Year max Water Level: 55.00m  
 Indicative 100 Year max Water Level: 57.42m  
 Indicative Top of Bank Level (pond): 58.00 - 61.00m  
 Indicative Basin Water Level: 56.50m

West Abstraction Pond  
 Flow Control  
 Basin of West Pond  
 Design Volume Level of West Pond (designatory)  
 Flood Risk for West Pond

Bank of West Pond water  
 to spill over the bank into  
 the 1.22m RH area.

Outfall (Subject to Ordinary  
 Watercourse Consent)

SS  
 Page 42

I set out below the comments from Bacton Parish Council in respect of the above application.

Ref	Policy	Observation
NPPF 7	Sustainable development	<p>The Parish Council considered the location was close to existing village services and helps with their sustainability.</p> <p>The Parish Council would request that the local Doctors surgery is included as a consultee in addition to the NHS/ CCG.</p>
49	Presumption in favour of sustainable development	This was noted by the Parish Council and the lack of a 5 year housing supply means policies in connection with the supply of housing cannot be considered up to date.
FC1	PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT	See above
FC1.1	MID SUFFOLK APPROACH TO DELIVERING SUSTAINABLE DEVELOPMENT	See above
FC2	PROVISION AND DISTRIBUTION OF HOUSING	There are currently no other applications/permissions in the vicinity for development, although the Parish council is aware of a potential application for the middle school site. Given the absence of other permissions at present the Parish Council have no issue with this site in respect of this policy.
CS1	Settlement Hierarchy	The proposed application fits within Mid Suffolk's policy for the allocation of housing development to towns and key service centres such as Bacton, although the Parish Council note this policy may no longer apply.
CS2	Development in the Countryside & Countryside Villages	The Parish Council note this site is within countryside but is opposite a brown field site and is alongside the existing settlement boundary.

CS4	Adapting to Climate Change	The Parish Council noted the proposed plan includes surface water management proposals.
CS5	Mid Suffolk's Environment	The Parish Council noted that there would be a loss of agricultural land but the proposed development included a green space, and the ecology report highlighted no matters of concern.
CS6	Services and Infrastructure	The Parish Council has concern over the capacity at the sewage works and for broadband connectivity with the proposed development.
CS7	Brown Field Target	The Parish Council notes this is a green field site and therefore is not helping achieve this target.
CS8	Provision and Distribution of Housing	See comments above on FC2
CS9	Density and Mix	The density and mix of housing particularly as it includes a number of smaller units, fits in with the outcomes of Parish Council consultations in the village in 2015.
Gp1	DESIGN AND LAYOUT OF DEVELOPMENT	The Parish Council consider the suggested design of the development and the accompanying street elevations are in line with this policy.
H3	HOUSING DEVELOPMENT IN VILLAGES	The Parish council note there are cottages in Wyverstone Road near the site and the development in Earlsbrook which should be considered at the to ensure the designs are consistent.
	Safeguarding aerodromes, technical sites and military explos	No comment.
H4	PROPORTION OF AFFORDABLE HOUSING IN NEW HOUSING DEVELOPMENT	The Parish Council note the inclusion of affordable housing and are pleased this includes a majority of smaller units.



H14	A RANGE OF HOUSE TYPES TO MEET DIFFERENT ACCOMMODATION NEEDS	The Parish Council would prefer to see a higher proportion of 2 Bed Private Housing but are pleased to note the inclusion of 3 bungalows.
H15	DEVELOPMENT TO REFLECT LOCAL CHARACTERISTICS	The drawings submitted for this outline application are broadly in keeping.
H17	KEEPING RESIDENTIAL DEVELOPMENT AWAY FROM POLLUTION	The surface water pond is away from proposed and existing housing. As noted previously the Parish Council is concerned at the capacity of the sewage system and the impact of these additional houses on the system within the village.
T9	PARKING STANDARDS	The Parish Council is concerned at the lack of space for parking, as many households now have more cars than allowed for in the scheme and with visitors the shared surfaces will become crowded with parked cars making access by emergency services difficult. Consideration should be given to some off road visitor parking areas.
T10	HIGHWAY CONSIDERATIONS IN DEVELOPMENT	There was concern around traffic volumes at peak times at the Shop Green junction but it was noted that the traffic flows would be spread out during the day compared to the former middle school.
T11	FACILITIES FOR PEDESTRIANS AND CYCLISTS	As with other proposed developments connectivity with the main part of the village should be improved by the developer as follows:  1. improved access for pedestrians into to Shop Green and remove the need for pedestrians to cross the Wyverstone Road: and  2.improved access into the main part of the village by completing the pavement in Church Road.

H16	PROTECTING EXISTING RESIDENTIAL AMENITY	The Parish Council note the inclusion of green space by way of a village green,  but given the distance from the village playing field would seek the inclusion of play equipment for younger children at least.
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**From:** Cat Clarkson [Parish Clerk] [<mailto:catparishclerk@gmail.com>]

**Sent:** 25 October 2016 12:17

**To:** Gemma Walker

**Subject:** 3270/16 | Application for Outline Planning Permission for residential development, associated highway, car parking and open space including Access & Layout | Land adjacent Wyverstone Road, Bacton IP14 4LH

Gemma,

Apologies, I had not noticed that the following comments from Wyverstone Parish Council had got stuck in my outbox. Unfortunately as a new clerk I still don't have access to make comments online.

At the Parish Council meeting of 18<sup>th</sup> October 2016, Wyverstone Parish Council made the following comments relating to the above application:

- The development is very dense, and more in line with that of urban areas. It is felt this will change the character of the villages.
- There was concern over the pressure on local services – e.g. doctor and schools. Primary school accommodation is not capable of meeting demand.
- There is a demonstrable need in Wyverstone for affordable and starter homes for local people, as well as down sizer accommodation, and we would be supportive of more of this type of accommodation.
- There was concern over road capacity, as well as the lack of joined up pavements between the development and bacton.

Kind Regards

**Cat Clarkson**

For and on behalf of

Westhorpe and Wyverstone Parish Councils

01449 258 131 | 07896985510

The Old School | Westhorpe | Stowmarket | IP14 4SU



## Consultation Response Pro forma

1	<b>Application Number</b>	3270/16 Wyverstone Road, Bacton	
2	<b>Date of Response</b>	20.10.16	
3	<b>Responding Officer</b>	Name:	Paul Harrison
		Job Title:	Heritage and Design Officer
		Responding on behalf of...	Heritage
4	<b>Summary and Recommendation</b> (please delete those N/A)  Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	<p>1. The Heritage Team considers that the proposal would cause</p> <ul style="list-style-type: none"> <li>no harm to a designated heritage asset because it would have a neutral impact on the setting of listed buildings.</li> </ul>	
5	<b>Discussion</b> Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>The application does not include an adequate appraisal of heritage impact. The chapter of the LVIA titled Heritage applies landscape criteria and consequently only considers heritage assets as elements of the landscape. Other aspects of setting, as explained in Historic England's guidance, are not considered.</p> <p>Nonetheless, there are no designated assets in the immediate surroundings of the site, and because the site immediately abuts the edge of the existing settlement with the school across the road, the impact of the proposal is limited to an enlargement of the extent of built development in this location. Given the distance between the site and assets such as Wyverstone Church, whose setting must extend widely across the landscape, the proposal is considered to have a neutral impact on the setting and significance of designated heritage assets.</p>	
6	<b>Amendments, Clarification or Additional Information Required</b> (if holding objection)  If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate		
7	<b>Recommended conditions</b>		

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

**From:** David Pizzev  
**Sent:** 21 September 2016 11:41  
**To:** Gemma Walker  
**Cc:** Planning Admin  
**Subject:** 3270/16 Land adjacent Wyverstone Road, Bacton.

Gemma

There are no existing arboricultural implications relating to this proposal. However, appropriate new planting should be agreed in order to help provide a high quality development and soften its visual impact within the local area.

Regards

David

**David Pizzev**  
Arboricultural Officer  
Hadleigh office: 01473 826662  
Needham Market office: 01449 724555  
[david.pizzev@baberghmidsuffolk.gov.uk](mailto:david.pizzev@baberghmidsuffolk.gov.uk)  
[www.babergh.gov.uk](http://www.babergh.gov.uk) and [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)  
Babergh and Mid Suffolk District Councils - Working Together

**From:** David Harrold  
**Sent:** 03 October 2016 13:36  
**To:** Planning Admin  
**Cc:** Gemma Walker  
**Subject:** Plan Ref 3270/16/OUT Land Adj Wyverstone Road, Bacton. EH - Other Issues

Thank you for consulting me on the above outline application for residential development.

I have no objection to the proposed development but would recommend that a planning condition is attached which restricts construction site working hours to:

Monday to Friday between 08:00 and 18:00 hrs  
Saturday between 09:00 hrs and 13:00 hrs  
No work to be undertaken on a Sunday, Bank or Public Holiday

Reason – To mitigate the adverse noise impact from construction activity on the occupiers of existing dwellings nearby.

David Harrold MCIEH

Senior Environmental Health Officer  
Babergh and Mid Suffolk Council

**From:** Nathan Pittam  
**Sent:** 19 September 2016 09:47  
**To:** Planning Admin  
**Subject:** 3270/16/OUT. EH - Land Contamination Issues.

**M3 : 183823**

**3270/16/OUT. EH - Land Contamination Issues.**

**SH, Street Record, Wyverstone Road, Bacton, STOWMARKET, Suffolk.**

**Application for Outline Planning Permission for residential development, associated highway, car parking and open space including Access & Layout**

Many thanks for your request for comments in relation to the above application. I have reviewed the application and can confirm that I have no in principle objection to the proposed development so long as the attached condition is included with any permission that may be granted for the site. This is owing to the fact that there was formerly a waste disposal function operating from the site which requires further investigation.

Regards

Nathan

Nathan Pittam BSc. (Hons.) PhD  
Senior Environmental Management Officer  
Babergh and Mid Suffolk District Councils – Working Together  
t: 01449 724715 or 01473 826637  
w: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

Your Ref: MS/3270/16  
 Our Ref: 570\CON\3071\16  
 Date: 6<sup>th</sup> October 2016  
 Highways Enquiries to: martin.egan@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**  
 Email: planningadmin@babberghmidsuffolk.gov.uk

The Planning Officer  
 Mid Suffolk District Council  
 Council Offices  
 131 High Street  
 Ipswich  
 Suffolk  
 IP6 8DL

**For the Attention of:** Gemma Walker

Dear Sir

**TOWN AND COUNTRY PLANNING ACT 1990 - CONSULTATION RETURN MS/3270/16**

**PROPOSAL:** Application for Outline Planning Permission for residential development, associated highway, car parking and open space including Access &

**Layout**

**LOCATION:** Land adjacent, Wyverstone Road, Bacton, Stowmarket, Suffolk, IP14 4LH

Notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

The Highway Authority has no objection in principle to this development but there are various issues with the proposed layout as shown on Drawing Number 12.023/101/C and these are listed below. Provided that these minor amendments are made then the highway conditions which follow will be appropriate.

**LAYOUT COMMENTS**

- 1) In order for garages to be considered as car parking spaces internal sizes need to be 7m by 3m.
- 2) The car parking spaces numbered 28 to 30 need to be wider where they abut fences or wall boundaries in order to allow access to both sides of the cars.
- 3) The visibility setback for each access road may be reduced to 2.4m.
- 4) There is insufficient car parking and visitor parking associated with Plots 52 to 57.
- 5) There appears to be no parking allocated for Plot 33.
- 6) There is insufficient parking and visitor parking provided for Plots 29 to 33.

Subject to suitable layout amendments the following conditions will apply:

1 ER 1

Condition: Before the development is commenced, details of the estate roads and footpaths, (including layout, levels, gradients, surfacing and means of surface water drainage), shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that roads/footways are constructed to an acceptable standard.



## 2 ER 2

Condition: No dwelling shall be occupied until the carriageways and footways serving that dwelling have been constructed to at least Binder course level or better in accordance with the approved details except with the written agreement of the Local Planning Authority.

Reason: To ensure that satisfactory access is provided for the safety of residents and the public.

## 3 P 1

Condition: The use shall not commence until the area(s) within the site shown on Drawing Number 12.023/101/C as submitted for the purposes of manoeuvring and parking of vehicles has been provided and thereafter that area(s) shall be retained and used for no other purposes.

Reason: To ensure that sufficient space for the on site parking of vehicles is provided and maintained in order to ensure the provision of adequate on-site space for the parking and manoeuvring of vehicles where on-street parking and manoeuvring would be detrimental to highway safety to users of the highway.

## 4 V 2

Condition: Before the accesses are first used visibility splays shall be provided in accordance with details previously approved in writing by the Local Planning Authority and thereafter shall be retained in the approved form. Notwithstanding the provisions of Part 2 Class A of the Town & Country Planning (General Permitted Development) Order 1995 no obstruction shall be erected, constructed, planted or permitted to grow within the areas of the visibility splays.

Reason: To ensure vehicles exiting the drives would have sufficient visibility to enter the public highway safely, and vehicles on the public highway would have sufficient warning of a vehicle emerging to take avoiding action.

## 5 D 1

Condition: Prior to the access being constructed the ditch beneath the proposed access shall be piped or bridged in accordance with details which previously shall have been submitted to and approved in writing by the Local Planning Authority and shall be retained thereafter in its approved form.

Reason: To ensure uninterrupted flow of water and reduce the risk of flooding of the highway.

## 6 NOTE 02

It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority. Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense. The County Council's Central Area Manager must be contacted on Telephone: 01473 341414. Further information go to: <https://www.suffolk.gov.uk/roads-and-transport/parking/apply-for-a-dropped-kerb/>

A fee is payable to the Highway Authority for the assessment and inspection of both new vehicular crossing access works and improvements deemed necessary to existing vehicular crossings due to proposed development.

## 7 NOTE 05

Public Utility apparatus may be affected by this proposal. The appropriate utility service should be contacted to reach agreement on any necessary alterations which have to be carried out at the expense of the developer. Those that appear to be affected are BT.

## 8 NOTE 06

The proposal will require the piping of a ditch. As the proposal requires work affecting an ordinary watercourse, including a ditch, whether temporary or permanent, then consent will be required from Suffolk County Councils' Flood and Water Management team. Application forms are available from the SCC website: <http://www.suffolk.gov.uk/environment-and-transport/planning-and-buildings/land-drainage>. Applications for consent may take up to 8 weeks to determine and will incur an additional fee.

## 9 NOTE 07

The Local Planning Authority recommends that developers of housing estates should enter into formal agreement with the Highway Authority under Section 38 of the Highways Act 1980 relating to the construction and subsequent adoption of Estate Roads.

## 10 NOTE 09

Suffolk County Council's highway apparatus appears to be affected by this proposal.

The applicant must contact the Central Area Manager, telephone 01473 341414, to agree any necessary alterations to be carried out at the expense of the developer. Those that appear to be affected are existing road signs..

## 11 NOTE 12

The existing street lighting system may be affected by this proposal. The applicant must contact the Street Lighting Engineer of Suffolk County Council, telephone 01284 758859, in order to agree any necessary alterations/additions to be carried out at the expense of the developer.

Yours faithfully

**Mr Martin Egan**  
**Highways Development Management Engineer**  
Strategic Development – Resource Management



**Developments Affecting Trunk Roads and Special Roads**  
**Highways England Planning Response (HEPR 16-01)**  
**Formal Recommendation to an Application for Planning Permission**

From: Martin Fellows  
Operations (East)  
[planningee@highwaysengland.co.uk](mailto:planningee@highwaysengland.co.uk)

To: Mid Suffolk District Council

CC: [growthandplanning@highwaysengland.co.uk](mailto:growthandplanning@highwaysengland.co.uk)

Council's Reference: 3270/16

Referring to the planning application referenced above, dated 15 September 2016, application for residential development associated highway, car parking and open space including access and layout, Land adjacent Wyverstone Road, Bacton IP14 4LH, notice is hereby given that Highways England's formal recommendation is that we:

- a) offer no objection;
- ~~b) recommend that conditions should be attached to any planning permission that may be granted (see Annex A — Highways England recommended Planning Conditions);~~
- ~~c) recommend that planning permission not be granted for a specified period (see Annex A — further assessment required);~~
- ~~d) recommend that the application be refused (see Annex A — Reasons for recommending Refusal).~~

Highways Act Section 175B is/ is not relevant to this application.<sup>1</sup>

<sup>1</sup> Where relevant, further information will be provided within Annex A.

<b>Signature:</b> 	<b>Date:</b> 28 September 2016
<b>Name:</b> pp Lorraine Willis	<b>Position:</b> Asset Manager
<b>Highways England:</b> Woodlands, Manton Lane Bedford MK41 7LW	
Lorraine.willis@highwaysengland.co.uk	

Resource Management  
 Bury Resource Centre  
 Hollow Road  
 Bury St Edmunds  
 Suffolk  
 IP32 7AY

Philip Isbell  
 Corporate Manager - Development Manager  
 Planning Services  
 Mid Suffolk District Council  
 131 High Street  
 Needham Market  
 Ipswich IP6 8DL

Enquiries to: Rachael Abraham  
 Direct Line: 01284 741232  
 Email: Rachael.abraham@suffolk.gov.uk  
 Web: <http://www.suffolk.gov.uk>

Our Ref: 2016\_3270  
 Date: 15 September 2016

For the Attention of Gemma Walker

Dear Mr Isbell

**Planning Application 3270/16 – Land adjacent Wyverstone Road, Bacton: Archaeology**

The proposed development lies in an area of archaeological interest, as recorded in the County Historic Environment Record (HER). The site is located close to the site of a Roman villa and Iron Age settlement (WYV 010) and adjacent to a number of large scatters of multi-period finds (WYV 020). As a result, there is high potential for encountering early settlement remains at this location and the proposed works would cause significant ground disturbance that has potential to damage any archaeological deposits and below ground heritage assets that exist.

There would be no grounds to consider refusal of permission in order to achieve preservation *in situ* of any important heritage assets. However, in accordance with the *National Planning Policy Framework* (Paragraph 141), we would recommend that any permission granted should be the subject of planning conditions to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

In this case the following conditions would be appropriate:

1. No development shall take place within the area indicated [the whole site] until the implementation of a programme of archaeological work has been secured, in accordance with a Written Scheme of Investigation for evaluation, and where necessary excavation, which has been submitted to and approved in writing by the Local Planning Authority.

The scheme of investigation shall include an assessment of significance and research questions; and:

- a. The programme and methodology of site investigation and recording
- b. The programme for post investigation assessment
- c. Provision to be made for analysis of the site investigation and recording
- d. Provision to be made for publication and dissemination of the analysis and records of the site investigation
- e. Provision to be made for archive deposition of the analysis and records of the site investigation
- f. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.
- g. The site investigation shall be completed prior to development, or in such other phased arrangement, as agreed and approved in writing by the Local Planning Authority.

2. The site investigation and post investigation assessment must be completed, submitted to and approved in writing by the Local Planning Authority prior to completion of the development, in accordance with the programme set out in the Written Scheme of Investigation approved under Condition 1 and the provision made for analysis, publication and dissemination of results and archive deposition.

**REASON:**

*To safeguard archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by this development, in accordance with Core Strategy Objective SO 4 of Mid Suffolk District Council Core Strategy Development Plan Document (2008) and the National Planning Policy Framework (2012).*

**INFORMATIVE:**

*The submitted scheme of archaeological investigation shall be in accordance with a brief procured beforehand by the developer from Suffolk County Council Archaeological Service, Conservation Team.*

In this case, a trenched archaeological evaluation will be required in order to establish the archaeological potential of the site. Decisions on the need for any further investigation (excavation before any groundworks commence) or mitigation will be made on the basis of the results of the evaluation. Due to the high archaeological potential of the site, it is strongly advised that evaluation is undertaken at as early a stage as possible so that costs and timescales for archaeological work can be factored in to project designs.

I would be pleased to offer guidance on the archaeological work required and will, on request of the applicant, provide a brief for each stage of the archaeological investigation (Please see our website for further information on procedures and costs: [www.suffolk.gov.uk/archaeology](http://www.suffolk.gov.uk/archaeology))

Yours sincerely

Rachael Abraham

Senior Archaeological Officer  
Conservation Team



Ms Gemma Walker  
 Mid Suffolk District Council  
 131 High Street  
 Needham Market  
 Suffolk  
 IP6 8DL

Direct Dial: 01223 582738

Our ref: P00527732

26 September 2016

Dear Ms Walker

**Arrangements for Handling Heritage Applications Direction 2015 & T&CP (Development Management Procedure) (England) Order 2015  
 LAND ADJACENT TO WYVERSTONE ROAD, BACTON , SUFFOLK, IP14 4LH  
 Application No 3270/16**

Thank you for your letter of 13 September 2016 notifying Historic England of the scheme for planning permission relating to the above site. Our specialist staff have considered the information received and we do not wish to offer any comments on this occasion.

#### Recommendation

**The application(s) should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice.**

It is not necessary for us to be consulted again on this application. However, if you would like further advice, please contact us to explain your request. We can then let you know if we are able to help further and agree a timetable with you.

Yours sincerely

**Clare Campbell**  
 Principal Inspector of Historic Buildings and Areas  
 E-mail: [clare.campbell@HistoricEngland.org.uk](mailto:clare.campbell@HistoricEngland.org.uk)



24 BROOKLANDS AVENUE, CAMBRIDGE, CB2 8BU

Telephone 01223 582749  
[HistoricEngland.org.uk](http://HistoricEngland.org.uk)



Midlands and East (East)  
 Swift House  
 Hedgerows Business Park  
 Colchester Road  
 Chelmsford  
 Essex CM2 5PF  
 Tel: 0113 824 9111  
 Email: kerryharding@nhs.net

Our Ref: NHSE/MIDS/16/3270/KH

Your Ref: 3270/16

Planning Services  
 Mid Suffolk District Council  
 Council Offices  
 131 High Street  
 Needham Market, IP6 8DL

30 September 2016

Dear Sir / Madam

**Application for Outline Planning Permission for residential development,  
 associated highway, car parking and open space including Access &  
 Layout.**

**Land adjacent Wyverstone Road, Bacton IP14 4LH.**

**1.0 Introduction**

- 1.1 Thank you for consulting NHS England on the above planning application.
- 1.2 I refer to the above planning application and advise that, further to a review of the applicants' submission the following comments are with regard to the primary healthcare provision on behalf of NHS England Midlands and East (East) (NHS England), incorporating Ipswich and East Suffolk Clinical Commissioning Group (CCG).

**2.0 Existing Healthcare Position Proximate to the Planning Application Site**

- 2.1 The proposed development is likely to have an impact on the services of 1 main GP practice and its branch surgery operating within the vicinity of the application site.
- 2.2 The proposed development will be likely to have an impact on the NHS funding programme for the delivery of primary healthcare provision within this area and specifically within the health catchment of the development. NHS England would therefore expect these impacts to be fully assessed and mitigated.

**3.0 Review of Planning Application**

- 3.1 The planning application does not appear to include a Health Impact Assessment (HIA) or propose any mitigation of the healthcare impacts arising from the proposed development.
- 3.2 A Healthcare Impact Assessment (HIA) has been prepared by NHS England to provide the basis for a developer contribution towards capital funding to increase capacity within the GP Catchment Area.

**4.0 Assessment of Development Impact on Existing Healthcare Provision**

- 4.1 The proposed development could generate approximately 154 residents and subsequently increase demand upon existing constrained services.



- 4.2 The primary healthcare services within a 2km radius of the proposed development and the current capacity position is shown in Table 1.

**Table 1: Summary of position for primary healthcare services within a 2km radius (or closest to) the proposed development**

Premises	Weighted List Size <sup>1</sup>	NIA (m <sup>2</sup> ) <sup>2</sup>	Capacity <sup>3</sup>	Spare Capacity (NIA m <sup>2</sup> ) <sup>4</sup>
Mendlesham Health Centre (including its branch Manor Farm Surgery, Bacton)	7,395	510.49	7,445	3.40
<b>Total</b>	<b>7,395</b>	<b>510.49</b>	<b>7,445</b>	<b>3.40</b>

**Notes:**

1. The weighted list size of the GP Practice based on the Carr-Hill formula, this figure more accurately reflects the need of a practice in terms of resource and space and may be slightly lower or higher than the actual patient list.
2. Current Net Internal Area occupied by the Practice
3. Based on 120m<sup>2</sup> per GP (with an optimal list size of 1750 patients) as set out in the NHSE approved business case incorporating DH guidance within "Health Building Note 11-01: facilities for Primary and Community Care Services"
4. Based on existing weighted list size

- 4.3 The development would have an impact on primary healthcare provision in the area and its implications, if unmitigated, would be unsustainable. The proposed development must therefore, in order to be considered under the 'presumption in favour of sustainable development' advocated in the National Planning Policy Framework, provide appropriate levels of mitigation.

## **5.0 Healthcare Needs Arising From the Proposed Development**

- 5.1 The intention of NHS England is to promote Primary Healthcare Hubs with co-ordinated mixed professionals. This is encapsulated in the strategy document: The NHS Five Year Forward View.
- 5.2 NHS England is aware of at least two other proposed residential developments in the area, consisting of 90 dwellings (Bacton) and 56 dwellings (Mendlesham), which will impact upon the same GP practice. Considering this cumulative development growth impact and the GP practices capacity position; this proposed development would give rise to a need for improvements to capacity by way of extension, refurbishment or reconfiguration at Mendlesham Health Centre (including its branch Manor Farm Surgery, Bacton); a proportion of the cost of which would need to be met by the developer.
- 5.3 Table 2 below provides the Capital Cost Calculation of additional primary healthcare services arising from the development proposal.

**Table 2: Capital Cost calculation of additional primary healthcare services arising from the development proposal**

Premises	Additional Population Growth (64 dwellings) <sup>5</sup>	Additional floorspace required to meet growth (m <sup>2</sup> ) <sup>6</sup>	Capital required to create additional floor space (£) <sup>7</sup>
Mendlesham Health Centre (including its branch Manor Farm Surgery, Bacton)	154	10.56	24,288
<b>Total</b>	<b>154</b>	<b>10.56</b>	<b>£24,288</b>

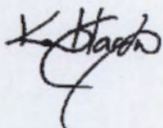
**Notes:**

5. Calculated using the Mid Suffolk District average household size of 2.4 taken from the 2011 Census: Rooms, bedrooms and central heating, local authorities in England and Wales (rounded to the nearest whole number).
  6. Based on 120m<sup>2</sup> per GP (with an optimal list size of 1750 patients) as set out in the NHSE approved business case incorporating DH guidance within "Health Building Note 11-01: facilities for Primary and Community Care Services"
  7. Based on standard m<sup>2</sup> cost multiplier for primary healthcare in the East Anglia Region from the BCIS Public Sector Q3 2015 price & cost Index, adjusted for professional fees, fit out and contingencies budget (£2,300/m<sup>2</sup>), rounded to nearest £100.
- 5.4 A developer contribution will be required to mitigate the impacts of this proposal. NHS England calculates the level of contribution required, in this instance to be **£24,288**. Payment should be made before the development commences. NHS England therefore requests that this sum be secured through Community Infrastructure Levy (CIL) linked to any grant of planning permission.
- 5.5 This development is not of a size and nature that would attract a specific S106 planning obligation. Therefore a proportion of the required funding for the provision of increased capacity within the existing healthcare premises servicing the residents of this development, by way of reconfiguration, refurbishment, extension or relocation, would be sought from the CIL contributions collected by the District Council, as appropriate.

**6.0 Conclusions**

- 6.1 In its capacity as the primary healthcare commissioner, NHS England has identified that the development will give rise to a need for additional primary healthcare provision to mitigate impacts arising from the development.
- 6.2 The capital required through developer contribution would form a proportion of the required funding for the provision of capacity to absorb the patient growth generated by this development.
- 6.3 The terms set out above are those that NHS England deem appropriate having regard to the formulated needs arising from the development.
- 6.4 In line with the Government's presumption for the planning system to deliver sustainable development and specific advice within the National Planning Policy Framework and the CIL Regulations, which provide for development contributions to be secured to mitigate a development's impact, a financial contribution is sought.
- 6.5 NHS England is satisfied that the basis of a request for CIL contributions is consistent with the Regulation 123 list produced by Mid Suffolk District Council.
- 6.6 Assuming the above is considered in conjunction with the current application process, NHS England would not wish to raise an objection to the proposed development. Otherwise the Local Planning Authority may wish to review the development's sustainability if such impacts are not satisfactorily mitigated.
- 6.7 NHS England and the CCG look forward to working with the applicant and the Council to satisfactorily address the issues raised in this consultation response and would appreciate acknowledgement of the safe receipt of this letter.

Yours faithfully



**Kerry Harding**  
Estates Advisor

Phil Watson Senior Landscape Officer  
Natural Environment Team

Endeavour House ( B2 F5 47)  
Russell Road  
IPSWICH

IP1 2BX  
Suffolk  
Tel: 01473 264777  
Fax: 01473 216889  
Email: phil.watson@suffolk.gov.uk  
Web: <http://www.suffolk.gov.uk>

Your Ref: 3270/16  
Our Ref:  
Date: 11/10/2016

**DISCLAIMER:** This information has been produced by Suffolk County Council's Natural Environment Team on behalf of Mid Suffolk District Council, at their request. However, the views and conclusions contained within this report are those of the officers providing the advice and are not to be taken as those of Suffolk County Council.

Ms Gemma Walker  
Planning Dept  
Mid Suffolk District Council  
131 High St  
Needham Market  
Suffolk  
IP6 8DL

Dear Gemma,

**Proposal: Application for Outline Planning Permission for residential development, associated highway, car parking and open space including Access & Layout.**

**Location: Land adjacent Wyverstone Road, Bacton IP14 4LH**

Based on the information provided by the applicant and a site visit carried out, on the 5<sup>th</sup> October, with the SCC Senior Ecologist Mrs Sue Hooton, I offer the following comments.

#### **The site and landscape**

The site is in a countryside location on the edge of the village of Bacton on land formally in arable cultivation and now naturally reverted to grassland and scrub. To the west of the site the land falls into a small valley.

#### **The information provided by the applicant**

The applicant has provided a sufficient landscape and visual impact assessment which has set out design principles for the scheme that are required in order to reasonably minimise adverse landscape and visual impacts, specifically;

*Limit storey heights to two*

*Propose a recessive colour palette and use vernacular building materials. Give careful consideration to boundary treatments such as wall or fence types.*

*Provision of a dense hedge mix around the south and west sides of the development within which trees are planted at intervals*

*Tree planting around and within the development to soften and break up the facades of the houses, number of forestry scale trees could be planned for in the POS, with deepening of foundations as necessary, or*

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*along roads where space allows, to create opportunity for new skyline trees that effectively soften and break up the roofline.*

*Provision of a detailed lighting strategy to minimise light spill and glare into adjacent open countryside*

*Ensure the future management provision to an agreed plan, to make sure all planting is kept in good condition and ongoing replacements are made to any plants that die.*

### **Likely Landscape and Visual effects**

The assessment of landscape and visual effects identified in particular the sensitivity of the northern and western boundary. It is notable that these boundaries are elevated in relation to the adjacent public footpath and will create skyline views of the development.

Given these issues it is unlikely the proposed views out to the west for occupants of the new dwellings can be achieved without creating residual adverse visual effects on the wider landscape.

Therefore the proposed boundary planting will need to be significantly more robust than is currently proposed in the submitted application in order to be acceptable. However this is a detailed matter that can be resolved by condition.

### **Recommendations**

This proposal is acceptable in landscape terms subject to the following conditions;

#### **CONCURRENT WITH SUBMISSION OF FIRST RESERVED MATTERS: HARD AND SOFT LANDSCAPING MASTERPLAN**

Before any development is commenced, and concurrent with the submission of the Reserved Matters application(s), A Landscaping Masterplan shall be submitted to and agreed by the local planning authority. The Landscape Masterplan shall to include;

- a) The layout and arrangement of soft landscaping, proposed range species of trees shrubs and other planting and seeding, to also include proposed planting and seeding of SuDs attenuation features and the location of any ecological mitigation and enhancement features.
- b) The layout and arrangement of hard landscaping, including outline information of the materials palette and design principles to be adopted and the lighting arrangements for the site as a whole.
- c) The agreed Landscape Masterplan shall form the basis of the detailed hard and soft landscaping scheme/s

#### **CONCURRENT WITH RESERVED MATTERS: DESIGN CODE**

Concurrent with the submission of the Reserved Matters application (s), a Design Code shall be submitted to the Local Planning Authority. The Design Code shall pertain to and include the following: architectural design and materials, the function and treatment of open spaces, street types and materials, parking, boundary treatments (including the details of screen walls and fences for individual dwellings), movement patterns (including

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connectivity to the offsite public rights of way network), lighting, security principles and domestic waste bin storage arrangements. Thereafter the development shall be carried out in accordance with the approved details.

#### **CONCURRENT WITH RESERVED MATTERS: SOFT LANDSCAPING**

No development shall commence within a development area or phase, until there has been submitted to and approved in writing by the Local Planning Authority a scheme of soft landscaping for that development area/phase, drawn to a scale of not less than 1:200. The soft landscaping details shall include planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants noting species, plant sizes and proposed numbers/ densities, weed control protection and maintenance and any tree works to be undertaken during the course of the development. Any planting removed, dying or becoming seriously damaged or diseased within five years of planting shall be replaced within the first available planting season thereafter with planting of similar size and species unless the Local Planning Authority gives written consent for any variation.

#### **CONCURRENT WITH RESERVED MATTERS: HARD LANDSCAPING**

No development shall commence within a development area or phase, until full details of a hard landscaping scheme for that area/phase has been submitted to and approved in writing by the Local Planning Authority. These details shall include proposed finished levels and contours showing earthworks and mounding; surfacing materials; means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (for example furniture, play areas and equipment, refuse and/or other storage units, signs, lighting and similar features); proposed and existing functional services above and below ground (for example drainage, power, communications cables and pipelines, indicating lines, manholes, supports and other technical features).

#### **CONCURRENT WITH RESERVED MATTERS: EXTERNAL LIGHTING**

No external lighting shall be provided within a development area or phase unless details thereof have first been submitted to and approved in writing by the Local Planning Authority. Prior to commencement a detailed lighting scheme for areas to be lit shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall show how and where external lighting will be installed, (through technical specifications and the provision of appropriate lighting contour plans which shall include lux levels of the lighting to be provided), so that it can be;

- a) Clearly demonstrated that areas to be lit have reasonably minimised light pollution, through the use of minimum levels of lighting and features such as full cut off cowls or LED.
- b) Clearly demonstrated that the boundary vegetation to be retained, as well as that to be planted, will not be lit in such a way as to disturb or prevent bats using their territory or having access to their breeding sites and resting places or foraging areas, through the use of minimum levels of lighting and features such as full cut off cowls or LED.

All external lighting shall be installed in accordance with the specifications and locations set out in the approved scheme, and shall be maintained thereafter in accordance with the scheme. Under no circumstances should any other external lighting be installed without prior consent from the Local Planning Authority.

**PRIOR TO COMMENCEMENT: TREE PROTECTION**

Any trees, shrubs and hedgerows within, or at the boundary of, the development area or phase, shall be protected in accordance with a scheme of tree protection, (BS5837:2012), to be agreed in writing with the Local Planning Authority prior to commencement. The Local Planning Authority shall be advised in writing that the protective measures/fencing within a development area/phase have been provided before any equipment, machinery or materials are brought onto the site for the purposes of development and shall continue to be so protected during the period of construction and until all equipment, machinery and surplus materials have been removed.

Within the fenced area no work shall take place; no materials shall be stored; no oil or other chemicals shall be stored or disposed of; no concrete, mortar or plaster shall be mixed; no fires shall be started; no service trenches shall be dug; no soil shall be removed or ground level changed at any time, without the prior written consent of the Local Planning Authority.

**Reasons**

I have made these recommendations in order to reasonably minimise the adverse impacts of the development on the character of the landscape and local visual amenity having particular regard for Policy CS5.

Yours sincerely

**Phil Watson**  
Senior Landscape Officer

**From:** Jason Skilton

**Sent:** 09 November 2016 10:02

**To:** Planning Emails

**Cc:** Gemma Walker

**Subject:** 2016-11-09 JS reply Land adjacent Wyverstone Road, Bacton IP14 4LH Planning Application 3270/16 Recommend approval/Conditions

Suffolk County Council, Flood & Water Management can recommend approval subject to the following proposed conditions.

- 1) Concurrent with the first reserved matters application(s) a surface water drainage scheme shall be submitted to, and approved in writing by, the local planning authority. The scheme shall be in accordance with the approved FRA and include:
  - a. Dimensioned plans and drawings of the surface water drainage scheme;
  - b. Infiltration testing on the site in accordance with BRE 365 and the use of infiltration as the means of drainage if the infiltration rates and groundwater levels show it to be possible;
  - c. If the use of infiltration is not possible then modelling shall be submitted to demonstrate that the surface water runoff will be restricted to  $Q_{bar}$  or 2l/s/ha for all events up to the critical 1 in 100 year rainfall events including climate change as specified in the FRA;
  - d. Modelling of the surface water drainage scheme to show that the attenuation/infiltration features will contain the 1 in 100 year rainfall event including climate change;
  - e. Modelling of the surface water conveyance network in the 1 in 30 year rainfall event to show no above ground flooding, and modelling of the volumes of any above ground flooding from the pipe network in a 1 in 100 year climate change rainfall event, along with topographic plans showing where the water will flow and be stored to ensure no flooding of buildings or offsite flows;
  - f. Topographical plans depicting all exceedance flowpaths and demonstration that the flows would not flood buildings or flow offsite, and if they are to be directed to the surface water drainage system then the potential additional rates and volumes of surface water must be included within the modelling of the surface water system;
  - g. Details of who will maintain each element of the surface water system for the life.

The scheme shall be fully implemented as approved.

Reason: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site for the lifetime of the development.

- 2) Concurrent with the first reserved matters application(s) details of the implementation, maintenance and management of the surface water drainage scheme shall be submitted to and approved in writing by the local planning authority. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

- 3) The development hereby permitted shall not be occupied until details of all Sustainable Urban Drainage System components and piped networks have been submitted, in an approved form, to and approved in writing by the Local Planning Authority for inclusion on the Lead Local Flood Authority's Flood Risk Asset Register.

Reason: To ensure all flood risk assets and their owners are recorded onto the LLFA's statutory flood risk asset register

- 4) No development shall commence until details of a construction surface water management plan detailing how surface water and storm water will be managed on the site during construction is submitted to and agreed in writing by the local planning authority. The construction surface water management plan shall be implemented and thereafter managed and maintained in accordance with the approved plan.

Reason: To ensure the development does not cause increased pollution of the watercourse in line with the River Basin Management Plan.

#### Informatives

- Any works to a watercourse may require consent under section 23 of the Land Drainage Act 1991
- Any discharge to a watercourse or groundwater needs to comply with the Water Environment (Water Framework Directive) (England and Wales) Regulations 2003

Kind Regards

Jason Skilton  
Flood & Water Engineer  
Suffolk County Council

Tel: 01473 260411  
Fax: 01473 216864



**From:** RM PROW Planning  
**Sent:** 04 October 2016 15:35  
**To:** Planning Admin  
**Subject:** RE: Consultation on Planning Application 3270/16

**For The Attention Of: Gemma Walker**

### **Rights of Way Response**

Thank you for your consultation regarding the above planning application.

Please accept this email as confirmation that we have no comments or observations to make in respect of this application affecting any public rights of way.

Please note, there may also be public rights of way that exist over this land that have not been registered on the Definitive Map. These paths are either historical paths that were never claimed under the National Parks and Access to the Countryside Act 1949, or paths that have been created by public use giving the presumption of dedication by the land owner whether under the Highways Act 1980 or by Common Law. This office is not aware of any such claims.

Regards

**Jackie Gillis**  
**Rights of Way Support Officer**  
**Countryside Access Development Team**

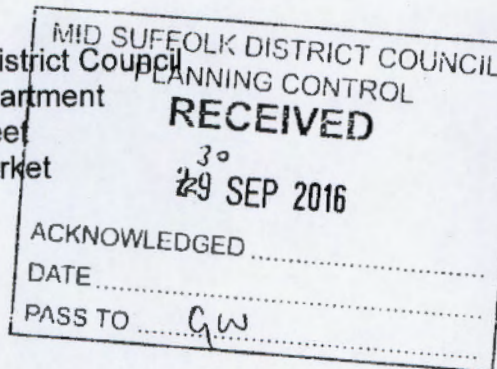
Rights of Way and Access  
Resource Management, Suffolk County Council  
Endeavour House (Floor 5, Block 1), 8 Russell Road, Ipswich, IP1 2BX



## Suffolk Fire and Rescue Service

Fire Business Support Team  
 Floor 3, Block 2  
 Endeavour House  
 8 Russell Road  
 Ipswich, Suffolk  
 IP1 2BX

Mid Suffolk District Council  
 Planning Department  
 131 High Street  
 Needham Market  
 Ipswich  
 IP6 8DL



Your Ref: 3270/16 + S106  
 Our Ref: FS/F310956  
 Enquiries to: Angela Kempen  
 Direct Line: 01473 260588  
 E-mail: Fire.BusinessSupport@suffolk.gov.uk  
 Web Address: <http://www.suffolk.gov.uk>

Date: 29/09/2016

Dear Sirs

**Land south of Wyverstone Road, Bacton IP14 4LH**  
**Planning Application No: 3270/16 + S106**

I refer to the above application.

The plans have been inspected by the Water Officer who has the following comments to make.

Access and Fire Fighting Facilities

Access to buildings for fire appliances and firefighters must meet with the requirements specified in Building Regulations Approved Document B, (Fire Safety), 2006 Edition, incorporating 2010 and 2013 amendments Volume 1 - Part B5, Section 11 dwelling houses, and, similarly, Volume 2, Part B5, Sections 16 and 17 in the case of buildings other than dwelling houses. These requirements may be satisfied with other equivalent standards relating to access for fire fighting, in which case those standards should be quoted in correspondence.

Suffolk Fire and Rescue Service also requires a minimum carrying capacity for hard standing for pumping/high reach appliances of 15/26 tonnes, not 12.5 tonnes as detailed in the Building Regulations 2000 Approved Document B, 2006 Edition, incorporating 2010 and 2013 amendments.

Water Supplies

Suffolk Fire and Rescue Service recommends that fire hydrants be installed within this development on a suitable route for laying hose, i.e. avoiding obstructions. However, it is not possible at this time to determine the number of fire hydrants required for fire fighting purposes. The requirement will be determined at the water planning stage when site plans have been submitted by the water companies.

Continued/

Suffolk Fire and Rescue Service recommends that proper consideration be given to the potential life safety, economic, environmental and social benefits derived from the provision of an automatic fire sprinkler system. (Please see sprinkler information enclosed with this letter).

Consultation should be made with the Water Authorities to determine flow rates in all cases.

Should you need any further advice or information on access and fire fighting facilities, you are advised to contact your local Building Control in the first instance. For further advice and information regarding water supplies, please contact the Water Officer at the above headquarters.

Yours faithfully



Mrs A Kempen  
Water Officer

Enc: PDL1

Copy: Mr G Warren, BDG Design Ltd, Southway House, 29 Southway, Colchester  
CO2 7BA

Enc: Sprinkler information



## Consultation Response Pro forma

<b>1</b>	<b>Application Number</b>	M/3270/16/OUT	
<b>2</b>	<b>Date of Response</b>	17.10.2016	
<b>3</b>	<b>Responding Officer</b>	Name:	Julie Abbey-Taylor
		Job Title:	Professional Lead – Housing Enabling
		Responding on behalf of...	Strategic Housing service
<b>4</b>	<b>Recommendation</b> (please delete those N/A)  Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	<p>The development is for residential development in the region of 64 dwellings.</p> <p>Recommendation – (a) Approve subject to a planning condition to ensure that allocations to the “affordable units” are in accordance with the agreed allocations policy as attached.</p> <p>(b) Approve subject to any shared equity units (6) are changed to shared ownership units</p>	
<b>5</b>	<b>Discussion</b> Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	See attached sheet with full assessment of housing need and how well this application responds to those needs.	
<b>6</b>	<b>Amendments, Clarification or Additional Information Required</b> (if holding objection)  If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate	Shared equity units changed to shared ownership in the affordable housing element of the development. Reduced number of 4 beds within the open market dwellings proposed.	
<b>7</b>	<b>Recommended conditions</b>	Include allocations policy with the Affordable housing schedule as agreed with the applicant as attached.	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

MID SUFFOLK DISTRICT COUNCIL

## MEMORANDUM

TO: Gemma Walker – Senior Planning officer  
 From: Julie Abbey-Taylor, Professional Lead – Housing Enabling  
 Date: 17/10/2016

SUBJECT: - **Application Reference: M/3270/16/OUT**

Proposal: Application for Outline Planning permission for residential development, associated highway, car parking and open space including access and layout at Land adjacent Wyverstone Road, Bacton

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**Key Points**
**1. Background Information**

A development proposal for sixty four (64) residential dwellings
--

This is an open market development and offers 22 affordable housing units which = 35%.
--

**2. Housing Need Information:**

2.1 The Ipswich Housing Market Area, Strategic Housing Market Assessment (SMHA) document, updated in 2012, confirms a continuing need for housing across all tenures and a growing need for affordable housing. A new SHMA is currently being written but outcomes are not available at the time of this consultation.

2.2 The 2012 SHMA indicates that in Mid Suffolk there is a need for **229 new affordable homes per annum. Ref1**

2.3 Furthermore, by bedroom numbers the affordable housing mix should equate to:

Ref2 Estimated proportionate demand for affordable new housing stock by bedroom number	
Bed Nos	% of total new affordable stock
1	46%
2	36%
3	16%

4+	2%
----	----

2.4 This compares to the estimated proportionate demand for new housing stock by bedroom size across all tenures.

Ref3 Estimated proportionate demand for all tenure new housing stock by bedroom number	
Bed Nos	% of total new stock
1	18%
2	29%
3	46%
4+	6%

2.5 The Council's 2014 Suffolk Housing Needs Survey shows that there is high demand for smaller homes, across all tenures, both for younger people, who may be newly forming households, and also for older people who are already in the property owning market and require different, appropriate housing, enabling them to downsize. Affordability issues are the key drivers for this increased demand for smaller homes.

2.6 The Council's Choice Based Lettings system currently has circa.1010 applicants registered for affordable housing in Mid Suffolk at July 2016.

2.7 A Local Housing needs survey is currently being carried out by Community Action Suffolk in partnership with the Parish and District Council.

2.8 The Council's Choice Based Lettings system currently has 12 applicants registered for affordable housing, who are seeking accommodation in Bacton as at 2016. It is anticipated this number will go up as there is a housing needs survey on-going in the parish at the moment. This site is a S106 planning obligation site so the affordable housing provided will be to meet district wide need hence the **1010** applicants registered is the important number.

**3. Preferred Mix for Open Market homes (42).** The open market mix shows that there are:

- 2 x 2 bed bungalows
- 1 x 3 bed bungalow
- 2 x 2 bed houses
- 19 x 3 bed houses
- 18 x 4 bed houses

The inclusion of three bungalows is welcomed as this will provide opportunities for older people to downsize. However it is disappointing that there are only 2 x 2 bed 3 person houses included out of the total 39 houses proposed which = 5%.

Compared to the number of 2 beds calculated within the 2012 SHMA across all tenures needs to be 29% this proposal includes an overall 2 bed provision of 26% but 20% of that figure is for affordable dwellings. 88% of the open market dwellings are 3 and 4 bed houses which is considered too high and will not help those who are seeking to enter the housing market or those wishing to downsize to something more manageable.

- The **2014 Suffolk Housing Survey** shows that, across Mid Suffolk district:
  - 12% of all existing households contain someone looking for their own property over the next 3 years (mainly single adults without children). The types of properties they are interested in are flats / apartments, and smaller terraced or semi-detached houses. Although this is not their first preference, many accept that the private rented sector is their most realistic option.
  - 25% of households think their current property will not be suitable for their needs in 10 years' time.
  - 2 & 3 bed properties are most sought after by existing households wishing to move.
  - Suitable housing options for more elderly people are less available within the current housing stock. 6% of all households have elderly relatives who may need to move to Suffolk within the next 3 years.

#### 4. Preferred mix for Affordable Housing (22).

4.1 The most recent information from the Mid Suffolk's Council's Housing Register shows XX applicants registered who have a connection to Bacton.

4.2 22 of the proposed dwellings on the development will be for affordable housing. These have been offered the form of: -

##### Rented: -

- 1 x 1-bedroom 2-person flat over garage at 60 square metres – \*FOG's are not an acceptable form of affordable housing as the garage will be provided for one of the open market dwellings and in this case the freehold transfer of the flat will not be transferable to the purchasing RP. Therefore the FOG should become an open market unit and would request that an additional 2 bed 4 person house is provided as a replacement unit. Alternatively a flat over a Car Port would be acceptable (FOCP).
- 4 x 1 bed 2 person flats @ 47sqm – should be 50 sqm to comply with the Housing Technical Housing standards 2015
- 6 x 2 bed 4 person flats @ 69 sqm – require 7 x 2 bed houses see note above\*
- 2 x 2-bedroom 4-person houses at 81 square metres – Happy with space standards

- 3 x 3 bed 5 person houses @ 90 sqm – the Technical Housing standards 2015 advise that this size dwelling should be 93 sqm.

Shared equity: -

Shared equity not acceptable but would agree if changed to shared ownership dwellings.

- 5 x 2 bed 4 person houses @ 81 sqm – happy with space standards
- 1 x 3 bed 5 person house @ 90 sqm – again should be 93 sqm as above.

**The above mix is requested and to be included in the S106 agreement.**

**5. Other requirements for affordable homes:**

- Properties must be built to current Homes and Communities Agency Design and Quality and Lifetime-Homes standards
- The council is granted 100% nomination rights to all the affordable units in perpetuity
- Affordable housing units must be transferred freehold to an approved RP.
- Where there are more than 15 affordable units, they should not be located in clusters of more than 15 units.
- Adequate parking provision is made for the affordable housing units

Julie Abbey-Taylor, Professional Lead – Housing Enabling





# SUFFOLK CONSTABULARY

Secured by Design



Phil Kemp  
Design Out Crime Officer  
Community Safety Unit/Bury St Edmunds Police Station  
Norfolk Constabulary/Suffolk Constabulary  
Raingate Street, Bury St Edmunds, Suffolk, IP33 2AP  
Tele: 01284 774141 Fax: 01284 774130  
Mobile: 07803737748  
[www.norfolk.police.uk](http://www.norfolk.police.uk) [www.suffolk.police.uk](http://www.suffolk.police.uk)

**PLANNING APPLICATION: 3270/16**

**SITE: 64 Homes on land adjacent to Wyverstone Road, Bacton, Suffolk, IP14 4LH**

**Applicant: Laurence Homes, Chilton Way, Stowmarket**

**Senior Planning Officer: Philip ISBELL**

The crime prevention advice is given without the intention of creating a contract. Neither the Home Office nor Police Service accepts any legal responsibility for the advice given. Fire Prevention advice, Fire Safety certificate conditions, Health & Safety Regulations and safe working practices will always take precedence over any crime prevention issue. Recommendations included in this document have been provided specifically for this site and take account of the information available to the Police or supplied by you. Where recommendations have been made for additional security, it is assumed that products are compliant with the appropriate standard and competent installers will carry out the installation as per manufacturer guidelines.

Suppliers of suitably accepted products can be obtained by visiting [www.securedbydesign.com](http://www.securedbydesign.com).

Dear Mr ISBELL

Thank you for allowing me to provide an input for the above Planning Application for 64 residential properties on Wyverstone Road, Bacton.

**One of the main aims stated in the Babergh and Mid Suffolk Core Strategy Development Plan Document of 2008 (updated in 2012) at Section 1, para 1.19 under Local Development Framework and Community Strategy states:**

**A safe community: Protect the environment from pollution, flooding and other natural and man-made disasters; reduce the level of crime; discourage re-offending; overcome the fear of crime; and provide a safe and secure environment.**

Section 17 outlines the responsibilities placed on local authorities to prevent crime and dis-order.

The National Planning Policy Framework on planning policies and decisions to create safe and accessible environments, laid out in paragraphs 58 and 69 of the framework, emphasises that developments should create safe and accessible environments where the fear of crime should not undermine local quality of life or community cohesion.

**1.0** I strongly advice the development planners adopt the ADQ guide lines and Secure by Design (SBD) principles for a secure development.

**1.1** As of the 1<sup>st</sup> June 2016 the police lead Secure By Design (SBD) New Home 2016 was introduced, replacing the previous Secure By Design (SBD) 2014 New Homes guide. This guide aptly meets the requirements of Approved Document Q for new builds and renovation work to a preferred security specification, through the use of certified fabricators that meet Secure By Design principals, for external doors, windows and roof lights to the following standards  
[http://www.securedbydesign.com/wp-content/uploads/2016/03/Secured by Design Homes 2016 V1.pdf](http://www.securedbydesign.com/wp-content/uploads/2016/03/Secured%20by%20Design%20Homes%202016%20V1.pdf)

NOT PROTECTIVELY MARKED  
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1.2 SBD New Homes 2016 incorporates three standards available within the New Homes 2016 guide, namely Gold, Silver or Bronze standards. It is advisable that all new developments of 10 properties or more should seek at least a Bronze Secured by Design. Further details can be obtained through the Secure By Design (SBD) site at <http://www.securedbydesign.com/>

1.3 **To achieve a Silver standard, or part 2 Secured by Design physical security**, which is the police approved minimum security standard and also achieves ADQ, involves the following:

- a. All exterior doors to have been certificated by an approved certification body to BS PAS 24:2012, or STS 201 issue 4:2012, or STS 202 BR2, or LPS 1175 SR 2, or LPS 2081 SRB.
- b. All individual front entrance doors to have been certificated by an approved certification body to BS Pas 24:2012 (internal specification).
- c. Ground level exterior windows to have been certificated by an approved certification body to BS Pas 24:2012, or STS204 issue 3:2012, or LPS1175 issue 7:2010 Security Rating 1, or LPS2081 Issue 1:2014. All glazing in the exterior doors, and ground floor (easily accessible) windows next to or within 400mm of external doors to include laminated glass as one of the panes of glass. Windows installed within SBD developments must be certified by one of the UKAS accredited certification bodies.

2.0 **I would like to add the following recommendations:**

2.1 Cul-de-sacs that are short in length and not linked by footpaths can be very safe environments in which residents benefit from lower crime. Research shows that features that generate crime within cul-de-sacs invariably incorporate one or more of the following undesirable features:

- backing onto open land, railway lines, canal towpaths, cemeteries etc.
- are very deep (long)
- linked to one another by footpaths.

If any of the above features are present in a development additional security measures may be required. Footpaths linking cul-de-sacs to one another can be particularly problematic, and in such cases the layout may need to be re-considered (particularly in higher crime areas).

I acknowledge that the balance between permeability and accessibility is always a delicate one. We (policing) want less permeability as it creates entry and escape routes for those who may want to commit a crime. For planners it is about the green agenda, being able to get people from A to B, preferably not in their cars.

2.2 From the plans I have seen it would appear that a number of the dwellings will be positioned facing each other, which is a preferred police view of sighting properties as it allows for natural surveillance of the area and one another's homes. It is important that the boundary between public and private areas is clearly indicated. Each building needs two faces: a front onto public space for the most public activities and a back where the most private activities take place. If this principle is applied consistently, streets will be overlooked by building fronts improving community interaction and offering surveillance that creates a safer feeling for residents and passers-by. For the majority of housing developments, it will be desirable for dwelling frontages to be open to view, so walls, fences and hedges will need to be kept low or alternatively feature a combination of wall (maximum height 1 metre) and railings or timber picket fence.

2.3 From the plans seen I note that a number of properties have windows designed for the gable end walls. This type is preferred by police as it allows natural surveillance of the area and tends to detract graffiti, or inappropriate loitering. Where blank gable walls are unavoidable there should be a buffer zone, using either a 1.2 – 1.4m railing (with an access gate) or a 1m mature height hedge with high thorn content.

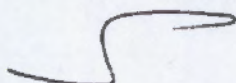
- 2.4 I note within the Design Access Statement referring to "Landscape strategy" at page 10 refers to hedgerow and tree planting for the south western and north western boundaries. I also note that the properties already in situ on Earlsbrook (south eastern side of the development) have reasonable boundaries. I would recommend that all outer perimeters, are enclosed by natural defensive vegetation, such as Hawthorn, Berberis or Pyracantha to a height of no more than 1 metre as laid out in Para 17 of SBD New Homes 2016, referring to "Planting in new developments".
- 2.5 **Household exterior lighting** , I would recommend photocell operated wall mounted lighting fluorescent lamp and wired through a switched spur to allow for manual override. I would also appreciate viewing a "Lux" lighting plan of the proposed site.
- 2.6 **Street Lighting:** I would like to see a Lux plan of the proposed street lighting for the area. Lighting should conform to Section 18.1 SBD 2016, in particular, "**Lighting in communal areas**" which can be found in Section 25.2 SBD 2016. Lighting should conform to the requirements of BS 5489:2013. A luminaire that produces a white light source (Ra>59 on the colour rendering index) should be specified but luminaires that exceed 80 on the colour rendering index are preferred.
- 2.7 **Car Parking** Communal parking facilities must be lit to the relevant levels as recommended by BS5489:2013 and a certificate of compliance provided. See section 16 SBD Homes 2016 for the specific lighting requirements as well as recommendations for communal parking areas.
- 2.8 **Perimeter fencing** – Divisional fencing at the 'bottom of gardens' should be of an 1800mm close boarded style. Sub divisional fencing, (plot division) the 'side of garden' boundary should again be 1800m close board, or to allow extra light 1500mm topped with a 300mm trellis.
- 2.9 A 13 amp non switched fused spur, suitable for an alarm system should be installed to allow each occupant the opportunity to have an alarm fitted.

### Conclusion

- 3.0 These standards are entry level security and meet the Secured by Design part 2 (Silver SBD) physical security standards. Building to the physical security of Secured by Design, which is the police approved minimum security standard, will reduce the potential for burglary by 50% to 75% and achieve ADQ. I would encourage the applicants to seek Secured by Design certification to this standard when it is built.
- 3.1 I would be pleased to work with the agent and/or the developer to ensure the proposed development incorporates the required elements. This is the most efficient way to proceed with residential developments and is a partnership approach to reduce the opportunity for crime and the fear of crime.

If you wish to discuss anything further or need assistance with the SBD application, please contact me on 01284 774141.

Yours sincerely



Phil Kemp

Designing Out Crime Officer  
Western and Southern Areas  
Suffolk Constabulary, Raynegate Street  
Bury St Edmunds, Suffolk, IP33 2AP



Your ref: 3270/16  
 Our ref: 00042150  
 Date: 23 September 2016  
 Enquiries to: Peter Freer  
 Tel: 01473 264801  
 Email: [peter.freer@suffolk.gov.uk](mailto:peter.freer@suffolk.gov.uk)

Gemma Walker  
 Senior Planning Officer  
 Planning Department  
 Mid Suffolk District Council  
 Council Offices  
 131 High Street  
 Needham Market  
 Ipswich  
 IP6 8DL

Dear Gemma,

**Re: Bacton Land adjacent Wyverstone Road, IP14 4L - Application for Outline Planning Permission for residential development, associated highway, car parking and open space including Access & Layout**

I refer to the above application for planning permission in Mid Suffolk. This follows previous pre-application advice provided by the County Council on 1<sup>st</sup> December 2015.

Proposed number of dwellings from development:	2 bedroom+ Houses	Total
	65	65
Approximate persons generated from proposal	150	150

I set out below Suffolk County Council's views, which provides our infrastructure requirements associated with this application and this will need to be considered by the Council.

The National Planning Policy Framework (NPPF) paragraph 204 sets out the requirements of planning obligations, which are that they must be:

- a) Necessary to make the development acceptable in planning terms;
- b) Directly related to the development; and,
- c) Fairly and reasonably related in scale and kind to the development.

The County and District Councils have a shared approach to calculating infrastructure needs, in the adopted [Section 106 Developers Guide to Infrastructure Contributions in Suffolk](#).

Mid Suffolk District Council adopted their Core Strategy in September 2008 and Focused Review in December 2012. The Core Strategy includes the following

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objectives and policies relevant to providing infrastructure:

- Objective 6 seeks to ensure provision of adequate infrastructure to support new development; this is implemented through Policy CS6: Services and Infrastructure.
- Policy FC1 and FC1.1 apply the presumption in favour of sustainable development in Mid Suffolk.

### **Community Infrastructure Levy**

Mid Suffolk District Council adopted a CIL Charging Schedule On 21st January 2016 and started charging CIL on planning permissions granted from 11th April 2016. Mid Suffolk are required by Regulation 123 to publish a list of infrastructure projects or types of infrastructure that it intends will be, or may be, wholly or partly funded by CIL.

The current Mid Suffolk 123 List, dated January 2016, includes the following as being capable of being funded by CIL rather than through planning obligations:

- Provision of passenger transport
- Provision of library facilities
- Provision of additional pre-school places at existing establishments
- Provision of primary school places at existing schools
- Provision of secondary, sixth form and further education places
- Provision of waste infrastructure

As of 6th April 2015, the 123 Regulations restrict the use of pooled contributions towards items that may be funded through the levy. The requirements being sought here would be requested through CIL, and therefore would meet the new legal test. It is anticipated that the District Council is responsible for monitoring infrastructure contributions being sought.

### **Site specific mitigation will be covered by a planning obligation and/or planning conditions.**

The details of specific CIL contribution requirements related to the proposed scheme are set out below:

1. **Education.** NPPF paragraph 72 states 'The Government attaches great importance to ensuring that a sufficient choice of school places is available to meet the needs of existing and new communities. Local planning authorities should take a proactive, positive and collaborative approach to meeting this requirement, and to development that will widen choice in education'.

The NPPF at paragraph 38 states 'For larger scale residential developments in Endeavour House, 8 Russell Road, Ipswich, Suffolk IP1 2BX

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particular, planning policies should promote a mix of uses in order to provide opportunities to undertake day-to-day activities including work on site. Where practical, particularly within large-scale developments, key facilities such as primary schools and local shops should be located within walking distance of most properties.'

School level	Minimum pupil yield:	Required:	Cost per place £ (2016/17):
Primary school age range, 5-11*:	16	0	12,181
High school age range, 11-16:	12	12	18,355
Sixth school age range, 16+:	3	3	19,907

Total education contributions:	<b>£279,981.00</b>
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The local catchment schools are Bacton Primary School and Stowupland High School (Academy from 01/09/2016).

Whilst there are currently places available for pupils from this development in the primary school, the primary school site is not suitable for further expansion and SCC understands that further growth is likely in the village. Therefore, discussions are taking place regarding options for primary provision in the village and the figures are expected to change. When SCC considers a future reserved matters application for this proposal the position is likely to be different which may require CIL contributions for primary school provision.

We currently forecast to have no surplus places at the catchment High School to accommodate children and 16+ students arising from the proposal and will therefore be seeking education contributions against this particular scheme as set out above towards providing additional education facilities. SCC will be seeking CIL funding for the above pupils forecast to arise from the development.

The scale of contributions is based on cost multipliers for the capital cost of providing a school place, which are reviewed annually to reflect changes in construction costs. The figures quoted will apply during the financial year 2016/17 only and have been provided to give a general indication of the scale of contributions required should residential development go ahead. The sum will be reviewed at key stages of the application process to reflect the projected forecasts of pupil numbers and the capacity of the schools concerned at these times.

**2. Pre-school provision.** Education for early years should be considered as part

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of addressing the requirements of the NPPF 'Section 8 Promoting healthy communities'. It is the responsibility of SCC to ensure that there is sufficient local provision under the Childcare Act 2006. Section 7 of the Childcare Act sets out a duty to secure free early years provision for pre-school children of a prescribed age. The current requirement is to ensure 15 hours per week of free provision over 38 weeks of the year for all 3 and 4 year-olds. The Education Act 2011 amended Section 7, introducing the statutory requirement for 15 hours free early years education for all disadvantaged 2 year olds.

Through the Childcare Act 2016, the Government will be rolling out an additional 15 hours free childcare to eligible households from September 2017.

	Minimum number of eligible children:	Required:	Cost per place £ (2016/17):
Pre-School age range, 2-4:	7	0	6,091

Required pre-school contributions:	£ 0.00
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In the Ward of Badwell Ash there is only 1 provider (Childminder) and in Bacton and Old Newton Ward there is 1 day-care provider and 1 preschool. Collectively they have 35 places available in this locality with sufficient spaces available to accommodate the children arising from the development.

3. **Play space provision.** Consideration will need to be given to adequate play space provision. A key document is the 'Play Matters: A Strategy for Suffolk', which sets out the vision for providing more open space where children and young people can play. Some important issues to consider include:
  - a. In every residential area there are a variety of supervised and unsupervised places for play, free of charge.
  - b. Play spaces are attractive, welcoming, engaging and accessible for all local children and young people, including disabled children, and children from minority groups in the community.
  - c. Local neighbourhoods are, and feel like, safe, interesting places to play.
  - d. Routes to children's play spaces are safe and accessible for all children and young people.
  
4. **Transport issues.** The NPPF at Section 4 promotes sustainable transport. A comprehensive assessment of highways and transport issues is required as part of any planning application. This will include travel plan, pedestrian and cycle provision, public transport, rights of way, air quality and highway provision (both on-site and off-site). Requirements will be dealt with via planning conditions and Section 106 agreements as appropriate, and infrastructure delivered to adoptable standards via Section 38 and Section 278. This will be co-ordinated by Martin Egan of Suffolk County Highway Network Management.

In its role as Highway Authority, Suffolk County Council has worked with the local planning authorities to develop county-wide technical guidance on parking in light of new national policy and local research. This was adopted by the County Council in November 2014 and replaces the Suffolk Advisory Parking Standards (2002). The guidance can be viewed at <https://www.suffolk.gov.uk/assets/planning-waste-and-environment/planning-and-development-advice/2015-11-16-FINAL-2015-Updated-Suffolk-Guidance-for-Parking.pdf>

- 5. Libraries.** Refer to the NPPF 'Section 8 Promoting healthy communities'. A minimum standard of 30 square metres of new library space per 1,000 populations is required. Construction and initial fit out cost of £3,000 per square metre for libraries (based on RICS Building Cost Information Service data but excluding land costs). This gives a cost of (30 x £3,000) = £90,000 per 1,000 people or £90 per person for library space.

Using established methodology, the capital contribution towards libraries arising sought from this scheme is stated below and would be spent at the local catchment library at Eye and allows for improvements and enhancements to be made to library services and facilities.

Libraries contribution:	<b>£14,040.00</b>
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- 6. Waste.** All local planning authorities should have regard to both the Waste Management Plan for England and the National Planning Policy for Waste when discharging their responsibilities to the extent that they are appropriate to waste management. The Waste Management Plan for England sets out the Government's ambition to work towards a more sustainable and efficient approach to resource use and management.

Paragraph 8 of the National Planning Policy for Waste states that when determining planning applications for non-waste development, local planning authorities should, to the extent appropriate to their responsibilities, ensure that:

- New, non-waste development makes sufficient provision for waste management and promotes good design to secure the integration of waste management facilities with the rest of the development and, in less developed areas, with the local landscape. This includes providing adequate storage facilities at residential premises, for example by ensuring that there is sufficient and discrete provision for bins, to facilitate a high quality, comprehensive and frequent household collection service.

SCC requests that waste bins and garden composting bins should be provided before occupation of each dwelling and this will be secured by way of a planning condition. SCC would also encourage the installation of water butts connected to gutter down-pipes to harvest rainwater for use by occupants in their gardens.



Waste Contribution:

£ 0.00

- 7. Supported Housing.** Section 6 of the NPPF seeks to deliver a wide choice of high quality homes. Supported Housing provision, including Extra Care/Very Sheltered Housing providing accommodation for those in need of care, including the elderly and people with learning disabilities, may need to be considered as part of the overall affordable housing requirement. Following the replacement of the Lifetime Homes standard, designing homes to Building Regulations Part M 'Category M4(2)' standard offers a useful way of meeting this requirement, with a proportion of dwellings being built to 'Category M4(3)' standard. In addition we would expect a proportion of the housing and/or land use to be allocated for housing with care for older people e.g. Care Home and/or specialised housing needs, based on further discussion with the Mid Suffolk housing team to identify local housing needs.
- 8. Sustainable Drainage Systems.** Section 10 of the NPPF seeks to meet the challenges of climate change, flooding and coastal change. National Planning Practice Guidance notes that new development should only be considered appropriate in areas at risk of flooding if priority has been given to the use of sustainable drainage systems. Additionally, and more widely, when considering major development (of 10 dwellings or more), sustainable drainage systems should be provided unless demonstrated to be inappropriate.

On 18 December 2014 the secretary of State for Communities and Local Government (Mr Eric Pickles) made a Ministerial Written Statement (MWS) setting out the Government's policy on sustainable drainage systems. In accordance with the MWS, when considering a major development (of 10 dwellings or more), sustainable drainage systems should be provided unless demonstrated to be inappropriate. The MWS also provides that in considering:

*"local planning authorities should consult the relevant lead local flood authority on the management of surface water; satisfy themselves that the proposed minimum standards of operation are appropriate and ensure that there are clear arrangements in place for ongoing maintenance over the lifetime of the development. The sustainable drainage system should be designed to ensure that the maintenance and operation requirements are economically proportionate."*

The changes set out in the MWS took effect from 06 April 2015.

- 9. Archaeology.** Please refer to the response sent by Rachel Abraham (SCC Senior Archaeological Officer), reference 2016\_3270, on 15 September 2016.
- 10. Fire Service.** The Suffolk Fire and Rescue Service requests that early consideration is given to access for fire vehicles and provision of water for fire-fighting. The provision of any necessary fire hydrants will need to be covered by appropriate planning conditions.

Suffolk Fire and Rescue Service (SFRS) seek higher standards of fires safety in Endeavour House, 8 Russell Road, Ipswich, Suffolk IP1 2BX

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dwelling houses and promote the installation of sprinkler systems and can provided support and advice on their installation.

#### 11. Superfast broadband.

SCC would recommend that all development is equipped with high speed broadband (fibre optic). This facilitates home working which has associated benefits for the transport network and also contributes to social inclusion, it also impacts educational attainment and social wellbeing, as well as impacting property prices and saleability.

As a minimum, access line speeds should be greater than 30Mbps, using a fibre based broadband solution, rather than exchange based ADSL, ADSL2+ or exchange only connections. The strong recommendation from SCC is that a full fibre provision should be made, bringing fibre cables to each premise within the development (FTTP/FTTH). This will provide a network infrastructure which is fit for the future and will enable faster broadband.

**12. Legal costs.** SCC will require an undertaking for the reimbursement of its own legal costs, whether or not the matter proceeds to completion.

**13. Time Limits.** The above information is time-limited for 6 months only from the date of this letter and/or will need to be reassessed if a planning application is submitted.

#### 14. Summary Table

Service Requirement	Contribution per dwelling	Capital Contribution
Education - Primary	£ 0.00	£ 0.00
Education – Secondary	£3,388.62	£220,260.00
Education – Sixth Form	£918.78	£59,721.00
Pre-School	£0.00	£ 0.00
Transport		
Libraries	£216.00	£14,040.00
Waste	£0.00	£0.00
<b>Total</b>	<b>£4,523.40</b>	<b>£294,021.00</b>

The table above would form the basis of a future bid to the District Council for **CIL funds** if planning permission was granted and implemented. This will be reviewed when a reserved matters application is submitted.

Yours sincerely,

*P J Freer*

Peter Freer MSc MRTPI  
Senior Planning and Infrastructure Officer  
Planning Section, Strategic Development, Resource Management

cc Neil McManus, SCC  
Martin Egan, SCC  
Iain Maxwell, SCC

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MID SUFFOLK DISTRICT COUNCIL  
DEVELOPMENT CONTROL COMMITTEE - 23 November 2016

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<b>AGENDA ITEM NO</b>	3
<b>APPLICATION NO</b>	3146/16
<b>PROPOSAL</b>	Erection of a detached dwelling, formation of parking area and vehicular access
<b>SITE LOCATION</b>	Land at Orchard Way, School Road, Coddendam IP6 9PS
<b>SITE AREA (Ha)</b>	
<b>APPLICANT</b>	Mrs T Simpson
<b>RECEIVED</b>	July 22, 2016
<b>EXPIRY DATE</b>	September 17, 2016

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**REASONS FOR REFERENCE TO COMMITTEE**

The application is referred to committee for the following reason:

A Member of the Council has requested that the application is determined by the appropriate Committee and the request has been made in accordance with the Planning Code of Practice or such other protocol / procedure adopted by the Council. The Members reasoning is included in the agenda bundle.

**PRE-APPLICATION ADVICE**

1. The applicant contacted the Duty Officer and the development of the site was discussed. Preliminary discussions suggested that the proposals would be acceptable in principle, subject to findings of the site visit and consultation responses. Advice made specific reference to the position of the site within the Conservation Area, and the design of the proposal.

**SITE AND SURROUNDINGS**

2. The application site is situated in a prominent position on the street scene, within the Coddendam Conservation Area. The village has retained its settlement boundary and the site is located within the boundary that was formerly defined within the Mid Suffolk Local Plan (1998). As such, for the purposes of planning, the settlement is classified as a 'secondary village' in the Core Strategy DPD of the Local Development Framework and is therefore capable of accommodating suitable infill development.

The application site is located within a relatively built-up area in the centre

of Coddendam. This area is characterised by various styles and sizes of dwellings interspersed with open space.

The application site relates to the garden associated with the property known as Orchard Way. The site is currently an established garden, bordered by an established vegetative hedgerow, screening the site from the footway and public highways. The site is accessed by an existing access off School Road which also serves the existing property.

### HISTORY

3. The planning history relevant to the application site is:

2020/13	Erection of single storey side in-fill extension	Granted 23/08/2013
0584/03/	PROPOSED TWO STOREY EXTENSION AND DETACHED DOUBLE GARAGE	Granted 01/07/2003
0068/02/OL	ERECTION OF ONE DETACHED DWELLING INCLUDING CONSTRUCTION OF NEW VEHICULAR ACCESS.	Refused 12/08/2002
0066/02/OL	ERECTION OF TWO DETACHED DWELLINGS INVOLVING CONSTRUCTION OF NEW VEHICULAR ACCESS.	Refused 13/08/2002

### PROPOSAL

4. Planning permission is sought for the erection of single two storey dwelling, with associated access and landscaping. The dwelling would be 8.65 metres to the ridge (4.75metres to eaves) with the building generally measuring 8.35 metres x 10.25 metres in width and length.

The proposed dwelling has a stepped gable-end appearance, reflecting the change in ground level with a pitched roof finished in natural clay pan tiles.

The ground floor level offers an entrance hall, living room, combined living and dining area and associated utility room. The first floor offers three bedrooms, (one ensuite) and a family bathroom.

### POLICY

5. **Planning Policy Guidance**

See Appendix below.

## CONSULTATIONS

6. *This is a summary of the representation received. See agenda bundle for full responses.*

**Coddenham Parish Council** - The parish Council requested that the application was referred to Planning Committee and that the Committee be asked to visit the site prior to making any decision.

**MSDC Environmental Health Officer [Land Contamination]** - The Environmental Health Officer considered that the application required no adverse comments or objection.

**MSDC Heritage Team** - The Heritage Team considers that the proposal would cause

- No harm to a designated heritage asset because the revised scheme with an increased plot size and increased distance of the proposed dwelling to be set back from the highway, as well as the removal of suburban, incongruous materials from the design have omitted the harm of the proposal to the Coddenham Conservation Area.

The Heritage Team recommends appropriate conditions are attached to any permission issued.

**MSDC Tree Officer** - The tree officer stated there were no arboricultural implications relating to this proposal.

**SCC Highways Authority** - County Council Highway Authority recommended that any permission which the Planning Authority may give should include the appropriate conditions.

**Suffolk Wildlife Trust** - No response has been received from the Suffolk Wildlife Trust.

## LOCAL AND THIRD PARTY REPRESENTATIONS

7. *This is a summary of the representations received.*

- Impact on highway safety
- Overdevelopment
- Overshadowing
- Loss of privacy
- Impact on Conservation Area

## ASSESSMENT

8. There are a number of considerations which will be addressed as follows:

- Principle of Development
- Design and Layout
- Heritage
- Highway Safety
- Residential Amenity
- Biodiversity

### PRINCIPLE OF DEVELOPMENT

#### National Planning Policy Framework

The National Planning Policy Framework (NPPF) was published on 27th March 2012. It provides the NPPF "does not change the statutory status of the development plan as the starting point for decision making. Proposed development that accords with an up-to-date Local Plan should be approved, and proposed development that conflicts should be refused unless other material considerations indicate otherwise".

The National Planning Policy Framework came into full effect on 27th March 2012. Paragraph 215 of the NPPF provides that "due weight should be given to relevant policies in existing plans (including Local Plans) according to their degree of consistency with this framework (the closer the policies in the plan to the policies in the Framework, the greater weight that may be given)". The relevant Local Plan policies set out above are considered to be consistent with paragraph 14, 17, 57, 58, 61 and 64 of the NPPF.

#### Development Plan

The principle of the development of a new residential dwelling is considered to be acceptable, subject to detailed compliance with Policies GP1, H16, SB2, and CL8 of the saved Mid Suffolk Local Plan (1998), Policy CS5 of the Core Strategy (2008) and Policies FC1 and FC1.1 of the Core Strategy Focused Review (2012) and other considerations.

#### Principle of Development

The site is located within the settlement of Coddensham, as defined by the Policy CS1 of the Mid Suffolk Core Strategy as a 'Secondary Village'. These villages are considered capable of accommodating suitable infill development.

The NPPF states that districts should have a 5 year land supply plus an appropriate buffer. Mid Suffolk's land supply does not meet this requirement, and for the purposes of this report the housing land supply



was calculated in June 2015, and stated to be 3.3 years.

Given that Mid Suffolk cannot demonstrate a 5 year housing supply it is considered that Policy CS1 and the housing policies on land supply should be not considered to be up to date. The NPPF nevertheless requires that the development must be considered to be sustainable in order to be acceptable. The proposal site is within the settlement boundary of Coddenham where in usual circumstances new residential development would be considered appropriate.

Officers have carefully considered the context of this site, in particular the facilities that would be available to the occupiers of the proposed dwelling. The details above identify that there are facilities available that are within a reasonable walking distance and can be accessed by public right of way. These facilities would allow for the occupiers to access a number of facilities or services required in a typical day without the need for the reliance on the private car.

Taking all of these factors on board, the Mid Suffolk District Council's current 5 year Housing Land Supply and the NPPF position on this matter it is considered that, under these particular circumstances the principle of residential development is not considered unacceptable.

#### Design and Layout

Officers have carefully considered the context of this site, in particular the impact of design and scale of the development, and its impact on the surroundings. Policy GP1 requires all new development proposals to maintain or enhance the appearance of their surroundings in terms of scale, form, detailed design and construction materials for the location.

The design of the two storey dwelling is considered to reflect the character and appearance of its surroundings. Consideration has been taken to illustrate how the site relates to the neighbouring properties, with the gable end facing on to the road, complementing the existing differing roof heights and forms. The scale, form and positioning of the dwelling have be developed to sit comfortably, with the proposed design would complement the surroundings, and be a sensitive addition to the street scene.

The design and layout are therefore considered to accord with policy GP1 and the development is therefore acceptable.

#### Heritage

Section 12 of the NPPF states the Local Planning Authority, when determining applications should take account of the desirability of

sustaining and enhancing the significance of heritage assets, their positive contribution to the economic viability of communities and their character and distinctiveness. Any alterations should not detract from the architectural or historic character of the building and its setting.

Paragraph 131 of the NPPF suggests that local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation. Consideration should be given to the positive contribution they can make to sustainable communities including their economic viability.

Any alterations should not detract from the architectural or historic character of the building and its setting. Policies HB1, HB3 and HB4 place high priority on protecting the character and appearance of buildings of architectural and historic interest, alterations will only be permitted where high standards of design, detailing, materials and construction are met and that proposed extensions will not dominate the original building by virtue of siting, size, scale and materials. HB8 states that development should conserve or enhance the character and appearance of the Conservation Area. Core Strategy policy CS5 requires all development to maintain and enhance the historic environment.

It is considered that whilst the proposal will have an effect on the Coddendam Conservation Area, in the sense that there would be a new dwelling where there is presently domestic garden land, it is not considered that this effect will be harmful.

Officers have taken into account the increased plot size and the set back of the dwelling from the highway and the appropriate use of materials and concluded that the development is acceptable.

#### Highway Safety

The layout proposes creation of a new access and parking area to be served by School Road

The Highway Authority, having considered the application, do not wish to restrict the grant of outline planning permission but seek the inclusion of an appropriate condition to secure parking space.

It is considered that the use of the access by an additional dwelling would not be prejudicial to either pedestrian or vehicular highway safety and that adequate parking can be achieved within the application site and secured by a planning condition.

#### Residential Amenity

Careful consideration has been given to the detailed design of the dwelling as to the impact upon residential amenity. The application seeks permission for a single two storey dwellinghouse on a moderately sized plot.

It is noted the property to the north-west of the site, Rose Cottage, is within relatively close proximity to the western boundary of the site, however given the amount of proposed amenity space and level of the vegetative border that is to be retained, the amenity of the occupants is not considered to be adversely affected by the proposal, to an unacceptable extent. A single high level window is proposed at first floor level on the north-western elevation, which serves the ensuite.

Consideration has been given to the additional vehicular movements and the impact that this would have upon the properties along School Road, which face the highway. It is considered that the additional dwellings would not create a significant material increase in the number of vehicular movements to cause an unacceptable level of noise or disturbance to the occupiers of these properties.

Given this context, the amenities of the occupants of the surrounding residential properties is not considered to be adversely affected by the proposal, to an unacceptable extent. Consideration has been given to the additional vehicular movements and the impact that this would have upon the properties along Church Street, which face the highway. It is considered that one further dwelling would not create a significant material increase in the number of vehicular movements to cause an unacceptable level of noise or disturbance to the occupiers of these properties.

#### Biodiversity

The application site is an established informal garden, laid to grass. As layout and landscaping are reserved for subsequent approval these conclusions may alter. There are no records of protected species in the vicinity of the application site. Furthermore the proposal is for the construction of a single dwelling; works which will not include the loss of any potential habitats, as such the proposal is not considered to risk harm to protected species.

#### Conclusion

The proposed development of this domestic garden is not considered to diminish the Coddenham Conservation Area. The infill development, results in a seemingly natural evolution of development in this sensitive location. Considered the circumstances surrounding the 5 year Housing

Land Supply and the accessibility to local services the proposed development is considered to represent a sustainable form of residential development, the principle of the proposed development, as such is not concluded to cause unacceptable harm. In the light of this, the proposal is considered to accord the NPPF.

### **RECOMMENDATION**

**That Full Planning Permission be GRANTED subject to the following conditions:**

- Standard time limit
- Approved plans
- Sample brick [Plinth, chimney & retaining wall] – brick, bond & mortar.
- Sample of roof materials
- Cladding to be stained black
- Railings to be agreed.
- Rooflight – manufacturer details and specification
- Details of shed
- Render mix and component ratio
- Colour of painted render.
- Highways condition - access
- PD right removed - no additional windows (NW elevation)

Philip Isbell  
Professional Lead - Growth & Sustainable Planning

Lindsey Wright  
Planning Officer

### **APPENDIX A - PLANNING POLICIES**

#### **1. Mid Suffolk Core Strategy Development Plan Document and the Core Strategy Focused Review**

**CSFR-FC1 - PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT**  
**CSFR-FC1.1 - MID SUFFOLK APPROACH TO DELIVERING SUSTAINABLE DEVELOPMENT**

#### **2. Mid Suffolk Local Plan**

**GP1 - DESIGN AND LAYOUT OF DEVELOPMENT**  
**HB9 - CONTROLLING DEMOLITION IN CONSERVATION AREAS**  
**HB8 - SAFEGUARDING THE CHARACTER OF CONSERVATION AREAS**  
**HB1 - PROTECTION OF HISTORIC BUILDINGS**  
**H17 - KEEPING RESIDENTIAL DEVELOPMENT AWAY FROM POLLUTION**  
**H16 - PROTECTING EXISTING RESIDENTIAL AMENITY**

3. Planning Policy Statements, Circulars & Other policy

NPPF - National Planning Policy Framework

**APPENDIX B - NEIGHBOUR REPRESENTATIONS**

Letter(s) of representation(s) have been received from a total of **6** interested party(ies).

The following people **objected** to the application

[Redacted names of objectors]

The following people **supported** the application:

The following people **commented** on the application:

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**Title:** Red Site Plan  
**Reference:** 3146/16  
**Site:** Land at Orchard Way  
 Churfh Road Coddenham



**MID SUFFOLK DISTRICT COUNCIL**  
 131, High Street, Needham Market, IP6 8DL  
 Telephone : 01449 724500  
 email: customerservice@csduk.gov.uk  
 www.midsuffolk.gov.uk



SCALE 1:1000

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Title: Constraints Map

Reference: 3146/16

Site:



**MID SUFFOLK DISTRICT COUNCIL**  
 131, High Street, Needham Market, IP6 8DL  
 Telephone : 01449 724500  
 email: customerservice@mid-suffolk.gov.uk  
 www.midsuffolk.gov.uk



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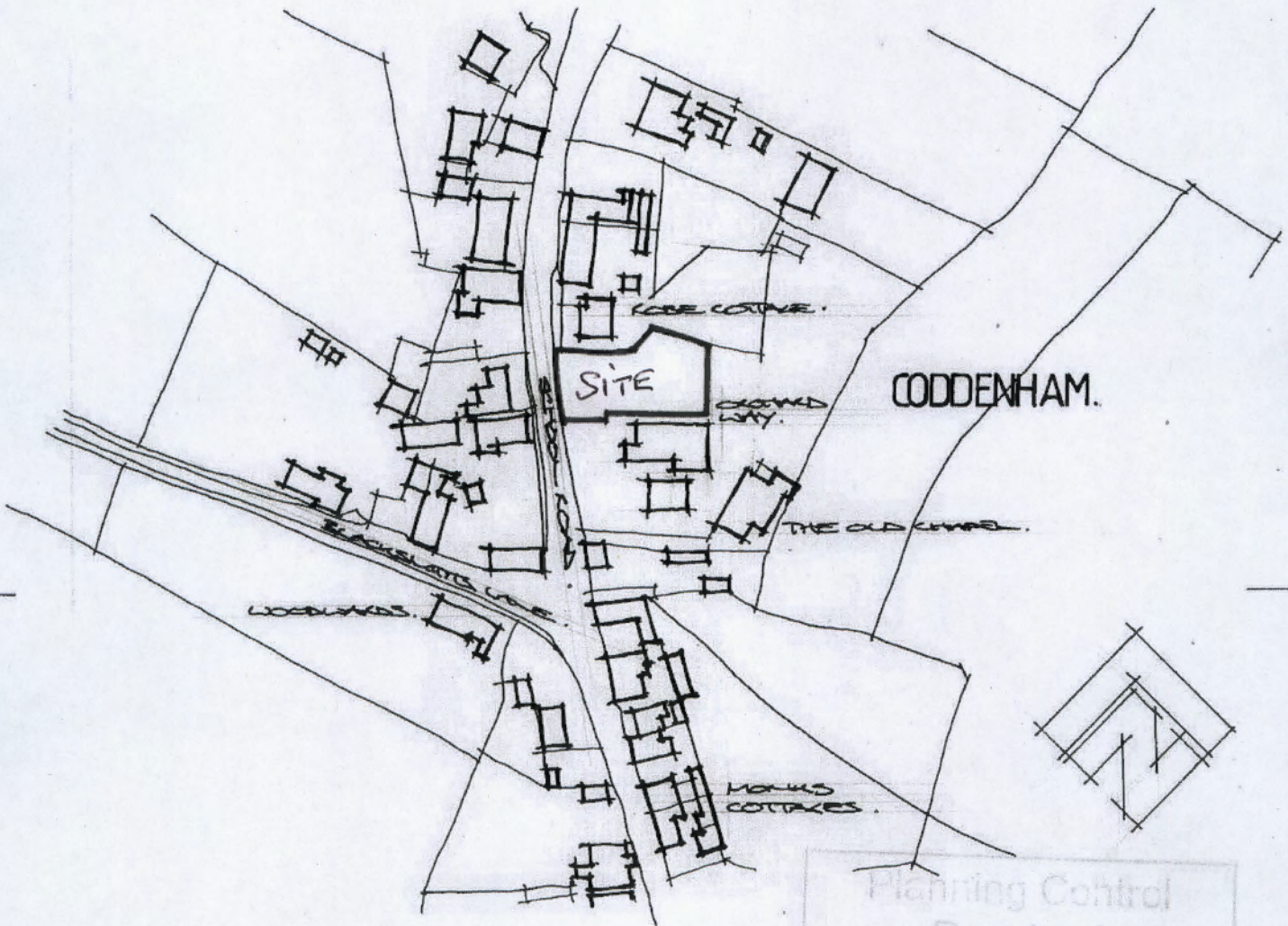


3146116  
92

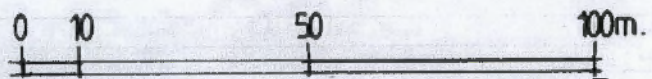
LOCATION PLAN.  
1:1250 AT A4.

**MOSS** Design  
Architectural

East View, Church Road, Otley, Ipswich,  
Suffolk, IP6 9Np  
Telephone: 01473 890993 Mobile: 07824 703222



Planning Control  
Received  
08 OCT 2016  
Acknowledged .....  
Date .....  
By .....



LS/DC/001A

93

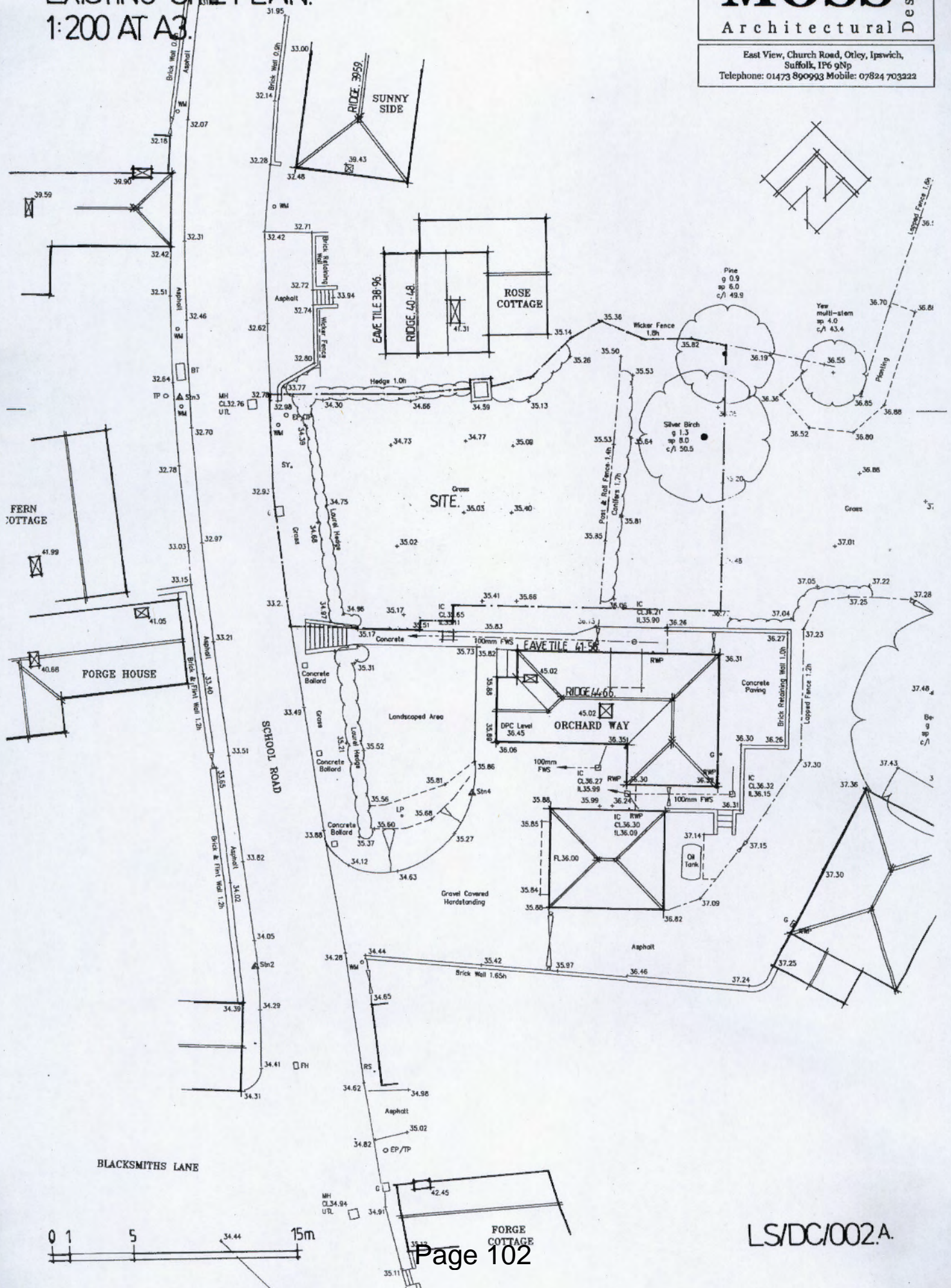
3146116

# EXISTING SITE PLAN. 1:200 AT A3.

# MOSS

Architectural Design

East View, Church Road, Otley, Ipswich,  
Suffolk, IP6 9Np  
Telephone: 01473 890993 Mobile: 07824 703222



LS/DC/002.A

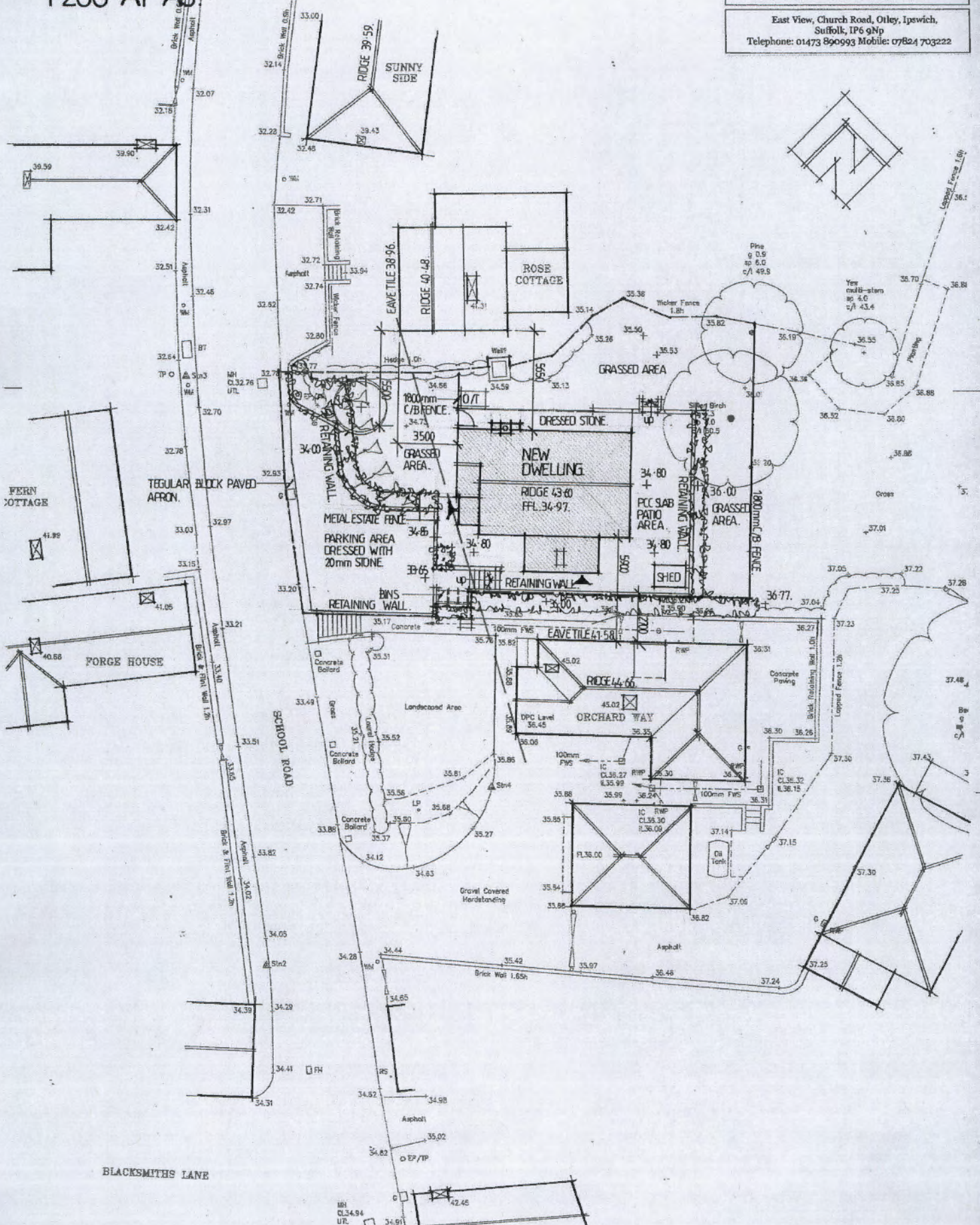
94

# PROPOSED SITE PLAN. 1:200 AT A3

# MOSS

Architectural Design

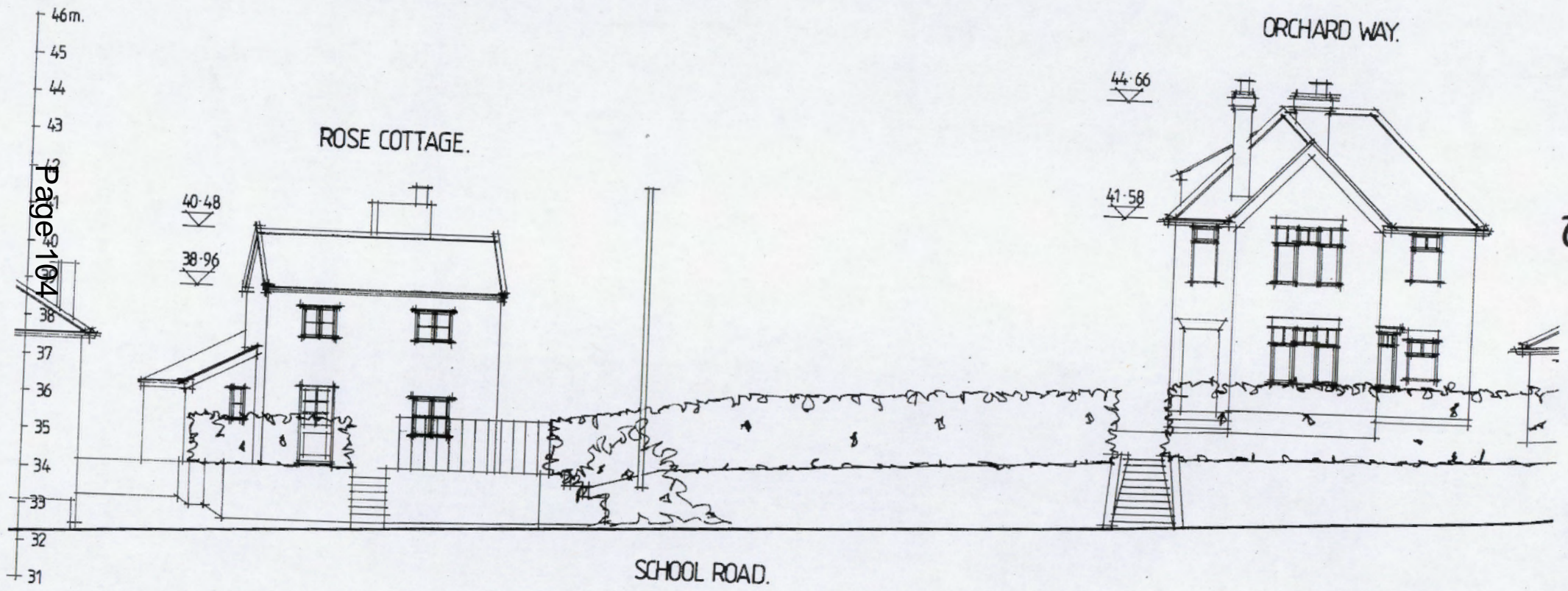
East View, Church Road, Otley, Ipswich,  
Suffolk, IP6 9NP  
Telephone: 01473 890993 Mobile: 07824 703222



EXISTING STREET SCENE ELEVATION.  
1:100 AT A3.

**MOSS** Design  
Architectural  
East View, Church Road, Otley, Ipswich,  
Suffolk, IP6 9NP  
Telephone: 01473 890993 Mobile: 07824 703222

3146116



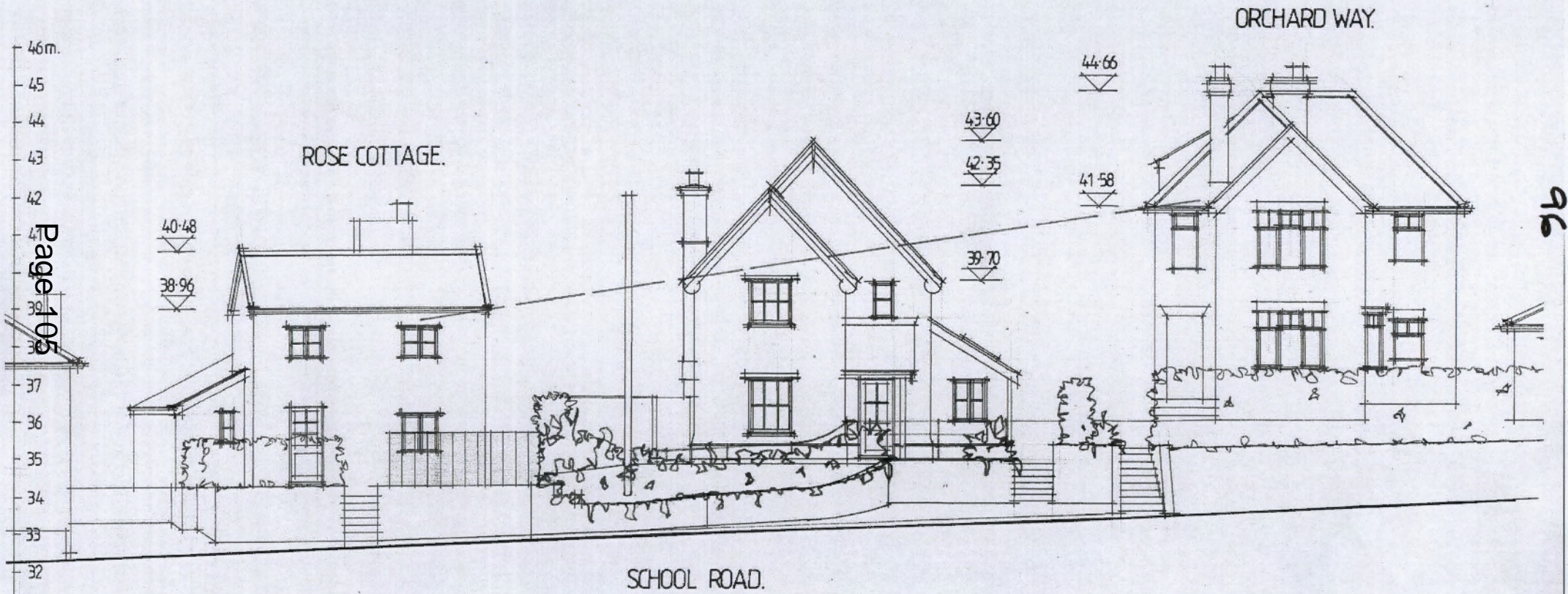
Page 104

20

LS/DC/003.

PROPOSED STREET SCENE ELEVATION.  
1:100 AT A3.

**MOSS** Design  
Architectural  
East View, Church Road, Otley, Ipswich,  
Suffolk, IP6 9NP  
Telephone: 01473 890993 Mobile: 07824 703222



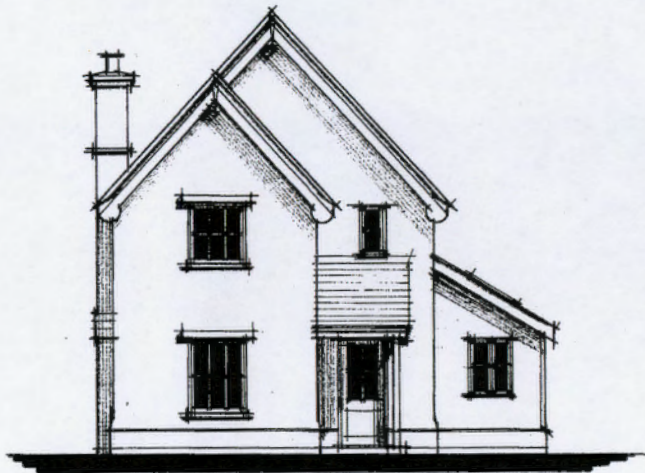
PROPOSED ELEVATIONS.  
1:100 AT A3.

**MOSS** Design  
Architectural  
East View, Church Road, Orley, Ipswich,  
Suffolk, IP6 9HP  
Telephone: 01473 890993 Mobile: 07824 703222

3146116

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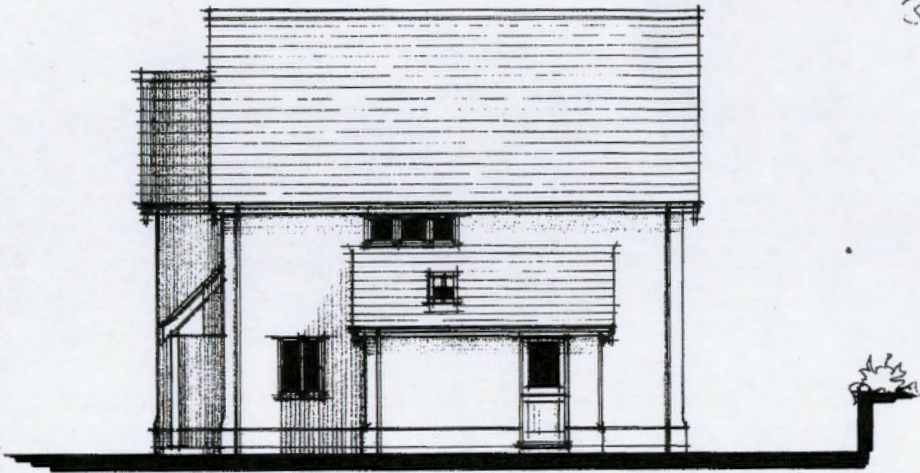
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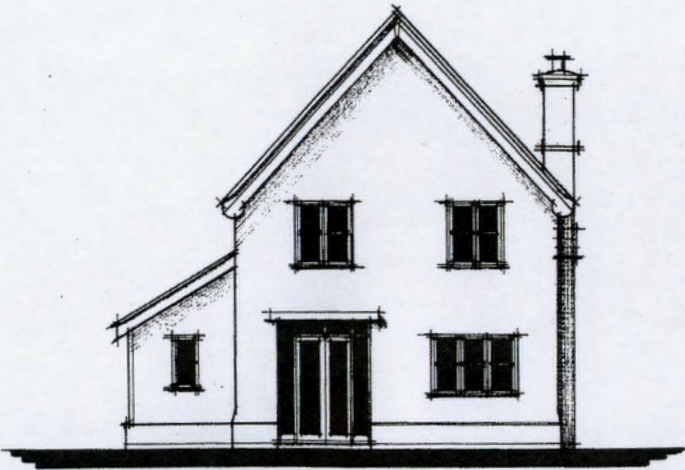
FRONT - WEST.

F

G



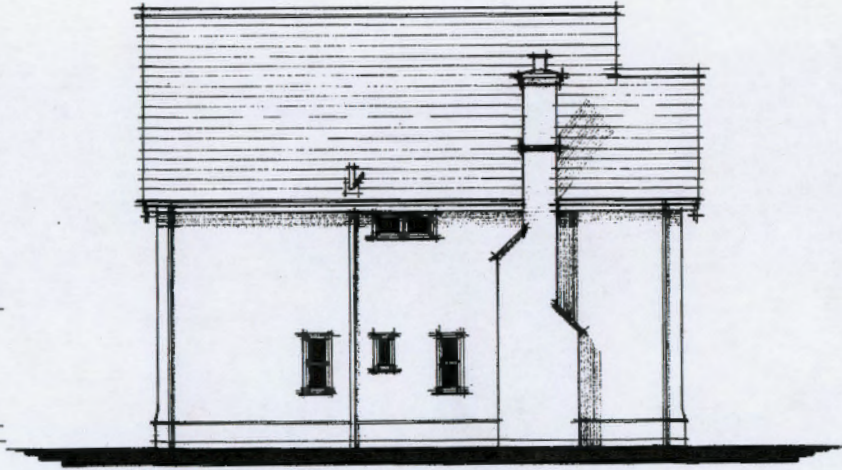
SIDE - SOUTH.



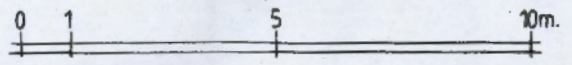
REAR - EAST.

F

G



SIDE - NORTH.



LS/DC/006A

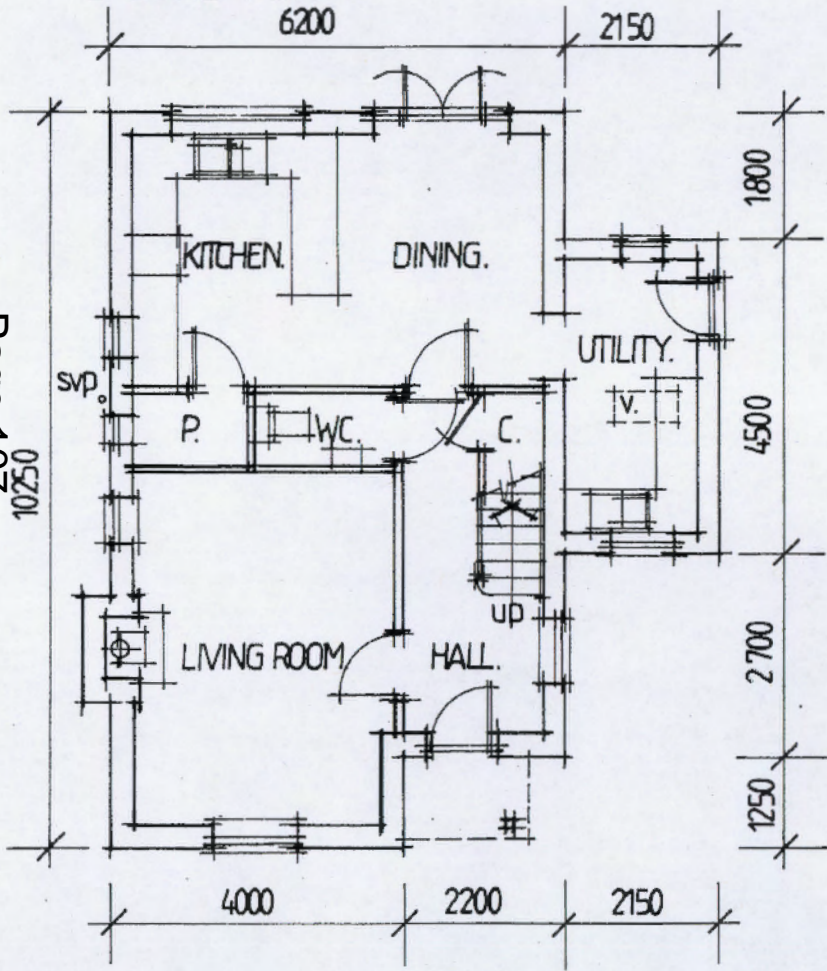
PROPOSED FLOOR PLANS.  
1:100 AT A4.

3146/16

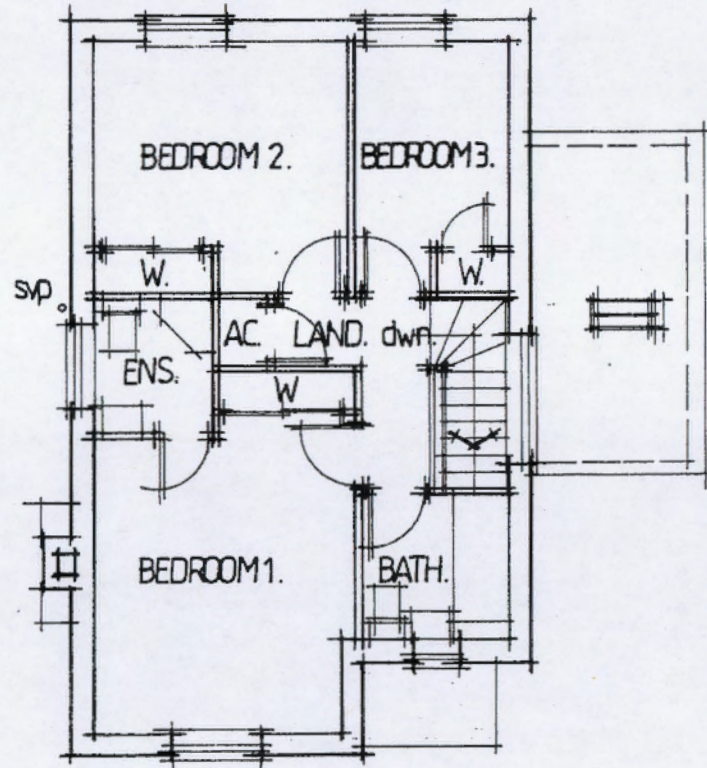
**MOSS** Design  
Architectural

East View, Church Road, Otley, Ipswich,  
Suffolk, IP6 9Np  
Telephone: 01473 890993 Mobile: 07824 703222

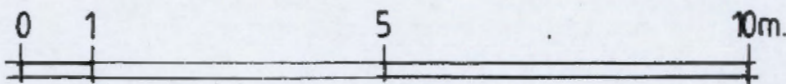
GROUND FLOOR.



FIRST FLOOR.



Page 107  
05201



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LS/DC/005.A

## MEMBER REFERRAL TO COMMITTEE

See Planning Charter for principles. Paragraph references below link to Planning Charter.

Planning application reference	3146/16
Parish	Coddenham
Member making request	Tim Passmore
13.3 Please describe the significant policy, consistency or material considerations which make a decision on the application of more than local significance	The Street Scene Impact on surrounding privacy / overlooking of existing dwellings The Conservation Area – one of the oldest in Mid Suffolk Visual amenity Overdevelopment of the area
13.4 Please detail the clear and substantial planning reasons for requesting a referral	In my opinion this development whilst an improvement on the original proposals, severely compromises the visual amenity and privacy of surrounding dwellings. I am also concerned about the impact on the street scene bearing in mind the presence of the Conservation Area. I would seriously consider the potential for overdevelopment in this sensitive site
13.5 Please detail the wider District and public interest in the application	I have been approached by neighbours and this was of great concern at the recent parish council meeting I attended where several members of the public were present as well as the parish councillors
13.6 If the application is not in your Ward please describe the very significant impacts upon your Ward which might arise from the development	N/A
13.7 Please confirm what steps you have taken to discuss a referral to committee with the case officer	I have discussed this on two occasions with Lindsey Wright and I think it appropriate for this to be considered by the committee. I am well aware that most cases are decided by delegated authority given to the planning officers.



**From:** Peter Whitehouse [mailto:parishclerk.coddenham@gmail.com]  
**Sent:** 25 October 2016 21:18  
**To:** Planning Admin  
**Subject:** RE: Saved search results and Tracked Applications have been updated

Sirs,  
Re: Application 3146/16

I am advised that your closing date for comments on Planning Application 3146/16 has been extended to 1<sup>st</sup> Nov 2016.  
As you will know, I am unable to update the holding comment placed on the online page last month. Please take note of the following comments, submitted on behalf of Coddenham Parish Council.

Coddenham Parish Council considered the above proposal at its meeting of the 11th October 2016 and have asked that the following comments are taken into account:  
Given the narrow street and with regard to the proposed parking arrangements, the Council expressed concerns about accessing and exiting the property, and the possible impact on road safety. They were also concerned that the amended proposal do not appears to preserve or enhance the oldest conservation area in east Suffolk. Council **requests** that the Planning Officer refers the matter to Planning Committee and that the Committee be asked to visit the site prior to making any decision.

Yours sincerely,

Peter Whitehouse  
Parish Clerk

## Consultation Response Pro forma

1	<b>Application Number</b>	3146/16 Land at Orchard Way, School Road, Coddenham, IP6 9PS	
2	<b>Date of Response</b>	30/08/2016	
3	<b>Responding Officer</b>	Name:	Rebecca Styles
		Job Title:	Heritage Officer
		Responding on behalf of...	Heritage
4	<b>Summary and Recommendation</b> (please delete those N/A)  Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	<p>1. The Heritage Team considers that the proposal would cause</p> <ul style="list-style-type: none"> <li>Less than substantial harm to a designated heritage asset because the proposal does not enhance the significance or character of the conservation area due to the position and scale of the development proposed, inappropriate use of surface materials and large amount of incongruous solar PV equipment on the southern roof slope.</li> </ul> <p>2. The Heritage Team recommends amendments as per section 6.</p>	
5	<b>Discussion</b> Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>The application site 'Land at Orchard Way, School Road, Coddenham, IP6 9PS' is located within the Coddenham Conservation Area towards the north of the historic core of the village.</p> <p>This application seeks planning permission for the erection of a dwellinghouse, formation of a parking area and creation of an access on the eastern side of School Road.</p> <p>The application site is presently domestic garden land associated with Orchard Way, to the south of Rose Cottage. The application site is not located within the setting of any listed buildings, but is located in an area of Coddenham village where there are a number of undesignated historic assets and is within the Coddenham Conservation Area.</p> <p>The proposed dwellinghouse would be constructed using soft red brick, have a clay pantile roof of the principle building, and would use slate on the single storey lean to at the rear. These are appropriate materials for the proposed dwellinghouse, and are located repeatedly in the Coddenham Conservation Area.</p> <p>The proposed dwelling would face gable on to the highway, mirroring the design of a number of properties</p>	

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

		<p>on School Road upon the northern approach into Coddendam Conservation Area.</p> <p>The Heritage team does have a number of concerns over the present proposal.</p> <p>The positioning of the dwelling is in line with the principle elevation of Rose Cottage. Due to the elevated position of the east side of School Road, the dwellinghouse would be particularly prominent in its proposed location. The size of the proposed dwellinghouse would have a contrived appearance due to the small size of the application site compared to the large scale of the proposed dwelling. The Heritage team would prefer to see the principle elevation of the proposed dwelling more in line with the principle elevation of Orchard Way, further back from the highway. This will reduce the impact of the development on the street scene, and if the scale of the dwellinghouse is reduced, this would decrease the harm caused by the proposed development in the Conservation Area by creating a less contrived, more considered development.</p> <p>The proposed surface treatment for the parking area is block paving. The Heritage team would be more supportive of an application which used a less 'urban' surface treatment, which would cause less harm to the Coddendam Conservation Area through using materials more akin to a rural village setting.</p> <p>11 solar panels are proposed to be installed on the roof of the south elevation. The number and position of solar panels proposed would harm the setting of the Coddendam Conservation Area due to the modern and incongruous materials found in solar PV equipment. A reduced amount of solar panels and repositioning to create a more simple arrangement would reduce the harm of the solar panels to the Conservation Area. Perhaps other carbon reducing energy systems could be considered which would have less impact upon the Conservation Area.</p> <p>This application does not enhance the significance or character of the conservation area due to the position and scale of the development proposed, inappropriate surface materials and large amount of incongruous solar PV equipment on the southern roof slope. The Heritage team feels unable to support this application and considers it to be contrary to national and local policies – NPPF 137, MSDC Local Plan HB8.</p>
6	<b>Amendments, Clarification or Additional</b>	<ul style="list-style-type: none"> <li>- Reduction of Solar PV panels / consideration of alternative carbon reducing energy methods with</li> </ul>

Please note that this form can be submitted electronically on the Councils website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Councils website and available to view by the public.

	<p><b>Information Required</b> (if holding objection)</p> <p>If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate</p>	<p>less visual impact upon the Conservation Area.</p> <ul style="list-style-type: none"> <li>- Revision of surface treatment for parking area of a less 'urban' design.</li> <li>- Repositioning/resizing of proposed dwelling to be more in line with the principle elevation of Orchard Way and to reduce the cramped and contrived effect of the proposal compared to adjacent, generously sized plots.</li> </ul>
7	<p><b>Recommended conditions</b></p>	

Please note that this form can be submitted electronically on the Council's website. Comments submitted on the website will not be acknowledged but you can check whether they have been received by reviewing comments on the website under the application reference number. Please note that the completed form will be posted on the Council's website and available to view by the public.

## Consultation Response Pro forma

1	<b>Application Number</b>	3146/16 Land at Orchard Way, School Lane, Coddenham, IP6 9PS	
2	<b>Date of Response</b>	25/10/2016	
3	<b>Responding Officer</b>	Name:	Rebecca Styles
		Job Title:	Heritage Officer
		Responding on behalf of...	Heritage
4	<b>Summary and Recommendation</b> (please delete those N/A)  Note: This section must be completed before the response is sent. The recommendation should be based on the information submitted with the application.	<p>1. The Heritage Team considers that the proposal would cause</p> <ul style="list-style-type: none"> <li>No harm to a designated heritage asset because the revised scheme with an increased plot size and increased distance of the proposed dwelling to be set back from the highway, as well as the removal of suburban, incongruous materials from the design have omitted the harm of the proposal to the Coddenham Conservation Area.</li> </ul> <p>2. The Heritage Team recommends conditions as per section 7.</p>	
5	<b>Discussion</b> Please outline the reasons/rationale behind how you have formed the recommendation. Please refer to any guidance, policy or material considerations that have informed your recommendation.	<p>This consultation response refers to revised drawings, references LS/DC/001A, LS/DC/002A, LS/DC/003, LS/DC/004A, LS/DC/005A, LS/DC/006A, LS/DC/007A LS/DC/008A, LS/DC/MA/A regarding the proposal to erect a two storey detached dwelling within the Coddenham Conservation Area.</p> <p>The original concerns of the Heritage team considered the harm of to the Coddenham Conservation Area due to the position and scale of the development proposed, particularly as the eastern side of School Lane is higher than the west, whilst the small plot size gave the appearance of the dwelling appearing cramped and contrived; the inappropriate use of suburban surface materials and large amount of incongruous solar PV equipment on the southern roof slope were modern, suburban materials inappropriate to the rural village character of the Conservation Area. It was felt that the original proposal would cause less than substantial harm to the character of the Coddenham Conservation Area.</p> <p>These revised drawings have sought to address the original concerns of the Heritage team by increasing the size of the plot, moving back the principle elevation of the proposed dwellinghouse, revising the surface treatment and omitting the solar PV equipment from the southern roof slope. The design of the proposed lean to has been modified, the front bay window has been omitted, and the external facing of the dwelling is now proposed to be render instead of soft red brick.</p> <p>The increase in plot size and repositioning of the proposed dwelling would set the principle elevation of the</p>	

		<p>dwelling back by a further 3.5 metres (9.3 metres in total from the highway) provides the dwelling a more generous plot which no longer has a cramped and contrived appearance. The modifications to the design of the proposed dwellinghouse by reducing the scale of the lean to and removing the bay window from the proposal give the dwelling a more modest appearance. This more simplistic design, along with the increased plot size and the greater extent of the dwelling being set back from the highway would reduce the impact of the proposed dwelling on the Conservation Area as the drawings no longer present an overcrowded or confined appearance of the proposed dwelling.</p> <p>The removal of the solar PV and permeable block paving are welcome alterations to the scheme, removing incongruous, suburban materials from the proposal, and the dwelling would now provide a more traditional appearance which would be more in keeping with the Conservation Area.</p> <p>The revised facing material of painted render rather than soft red bricks is a suitable material which is representative of traditional materials used within the Conservation Area, and the Heritage team supports this amendment to the proposal.</p> <p>The proposal will have an effect on the Coddendam Conservation Area, in the sense that there would be a new dwelling where there is presently domestic garden land, however it is not considered that this effect will be a harmful one with regard to the character of the Conservation Area. The Heritage team therefore removes its objection to the scheme, subject to the following conditions.</p>
6	<p><b>Amendments, Clarification or Additional Information Required</b> (if holding objection)</p> <p>If concerns are raised, can they be overcome with changes? Please ensure any requests are proportionate</p>	
7	<p><b>Recommended conditions</b></p>	<ul style="list-style-type: none"> <li>• Sample panel of brick, bond and mortar mix to be used for the plinth, chimney and retaining wall to be submitted and agreed by the LPA prior to commencement of development.</li> <li>• Sample of roofing materials – clay pantiles to dwelling, ridge tiles, and slate to single storey lean to to be submitted and agreed by the LPA prior to</li> </ul>

		<p>commencement of development.</p> <ul style="list-style-type: none"><li>• Cladding to be stained black</li><li>• Drawings of railings to be agreed prior to commencement of development.</li><li>• Manufacture details and specification of rooflight to be submitted and agreed by LPA prior to commencement of development.</li><li>• Elevations of shed shown on drawing LS/DC/004A to be submitted and agreed prior to commencement of development.</li><li>• Render mix and component ratio to be agreed prior to commencement of development.</li><li>• Colour of painted render to be agreed prior to commencement of development.</li></ul>
--	--	---

Kind regards,  
**Rebecca Styles BA MA**

**From:** David Pizzey  
**Sent:** 16 August 2016 09:35  
**To:** Lindsey Wright  
**Cc:** Planning Admin  
**Subject:** 3146/16 Land at Orchard Way, Coddendam

Lindsey

There are no arboricultural implications relating to this proposal.

Regards

David

**David Pizzey**  
Arboricultural Officer  
Hadleigh office: 01473 826662  
Needham Market office: 01449 724555  
[david.pizzey@baberghmidsuffolk.gov.uk](mailto:david.pizzey@baberghmidsuffolk.gov.uk)  
[www.babergh.gov.uk](http://www.babergh.gov.uk) and [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)  
Babergh and Mid Suffolk District Councils - Working Together



**From:** David Harrold  
**Sent:** 12 October 2016 12:13  
**To:** Planning Admin  
**Cc:** Lindsey Wright  
**Subject:** Plan Ref 3146/16/FUL Land at Orchard Way, School Road, Coddendam. EH - Land Contamination

Thank you for consulting me on the most recent amendments to the plans for the above application.

I can confirm with respect to land contamination that I do not have any adverse comments or objection.

David Harrold MCIEH

Senior Environmental Health Officer  
Babergh and Mid Suffolk Council

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**From:** Nathan Pittam  
**Sent:** 19 September 2016 11:22  
**To:** Planning Admin  
**Subject:** 3146 / 16 - EH AMENDED PLANS Land Contamination.

**M3 : 184049**  
**3146 / 16 - EH AMENDED PLANS Land Contamination.**  
**Land at Orchard Way, School Road, Coddendam, IPSWICH, Suffolk.**  
**Erection of a detached dwelling, formation of parking area and vehicular access.**

Many thanks for your request for comments in relation to the amended plans at the above development. I can confirm that I have no objection to the proposed development but would only request that we are contacted in the event of unexpected ground conditions being encountered during construction and that the developer is made aware that the responsibility for the safe development of the site lies with them.

Regards

Nathan

Nathan Pittam BSc. (Hons.) PhD  
Senior Environmental Management Officer  
Babergh and Mid Suffolk District Councils – Working Together  
t: 01449 724715 or 01473 826637  
w: [www.babergh.gov.uk](http://www.babergh.gov.uk) [www.midsuffolk.gov.uk](http://www.midsuffolk.gov.uk)

Your Ref: MS/3146/16  
 Our Ref: 570\CON\2646\16  
 Date: 30/08/2016  
 Highways Enquiries to: kyle.porter@suffolk.gov.uk



**All planning enquiries should be sent to the Local Planning Authority.**

Email:

The Planning Officer  
 Mid Suffolk District Council  
 131 High Street  
 Ipswich  
 Suffolk  
 IP6 8DL

**For the Attention of:** Lindsey Wright

Dear Lindsey

**TOWN AND COUNTRY PLANNING ACT 1990 - CONSULTATION RETURN MS/3146/16**

**PROPOSAL:**            **Erection of a detached dwelling, formation of parking area and vehicular access**

**LOCATION:**            **Orchard Way, School Road, Coddendam, Suffolk.**

Notice is hereby given that the County Council as Highway Authority recommends that any permission which that Planning Authority may give should include the conditions shown below:

**1 AL 3**

Condition: The new vehicular access shall be laid out and completed in all respects in accordance with Drawing No. DM01; and with an entrance width of 3m and made available for use prior to occupation of dwelling. Thereafter the access shall be retained in the specified form.

Reason: To ensure that the access is designed and constructed to an appropriate specification and made available for use at an appropriate time in the interests of highway safety.

**2 NOTE 02**

It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority.

Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense.

The County Council's Central Area Manager must be contacted on Telephone: 01473 341414. Further information go to: <https://www.suffolk.gov.uk/roads-and-transport/parking/apply-for-a-dropped-kerb/>

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A fee is payable to the Highway Authority for the assessment and inspection of both new vehicular crossing access works and improvements deemed necessary to existing vehicular crossings due to proposed development.

Yours sincerely,

**Mr Kyle Porter**  
**Development Management Technician**  
Strategic Development – Resource Management

**From:** Kyle Porter  
**Sent:** 07 October 2016 09:31  
**To:** Lindsey Wright  
**Subject:** MS/3146/16

Hi Lindsey,

Just received some amended documents for the above application but they do not significantly differ to the originals so SCCs position on the application is still the same.

Regards,

**Kyle Porter**  
Development Management Technician  
Central Area  
Resource Management  
Suffolk County Council  
Endeavour House, Russell Road, Ipswich  
IP1 2BX  
Ext. 5379

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